



ELEVATION 1/A



ELEVATION 2/A

NOTES:

PROJECT TITLE:
**CALLENDER
 HANDCRAFTED
 LOG HOME**

MAIN: 1658 sq. ft.
 LOFT: 861 sq. ft.
 TOTAL: 2519 sq. ft.

BASEMENT: 1008 sq. ft.

STRUCTURE DESTINATION:
 0304 SUMMIT COUNTY RD.
 529
 BRECKENRIDGE, CO 80424

PREPARED FOR:

TROY CALLENDER
 17405 CR 122
 TYLER, TEXAS 75703

PHONE: (903) 312-8599
 EMAIL: troycallender@me.com

PREPARED BY:



CANADA DIVISION
 351 HODGSON ROAD
 WILLIAMS LAKE, B.C.
 CANADA
 P.L.I. (250) 392-5577
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 TOLL FREE: 1-877-224-4564
 www.pioneerloghomesofbc.com

DRAWING TITLE:

ELEVATIONS

SCALE:

1/4" = 1'-0"

DATE:

FEBRUARY 1, 2012

DRAWN BY:

D. FITZEL
 N. CRAMER

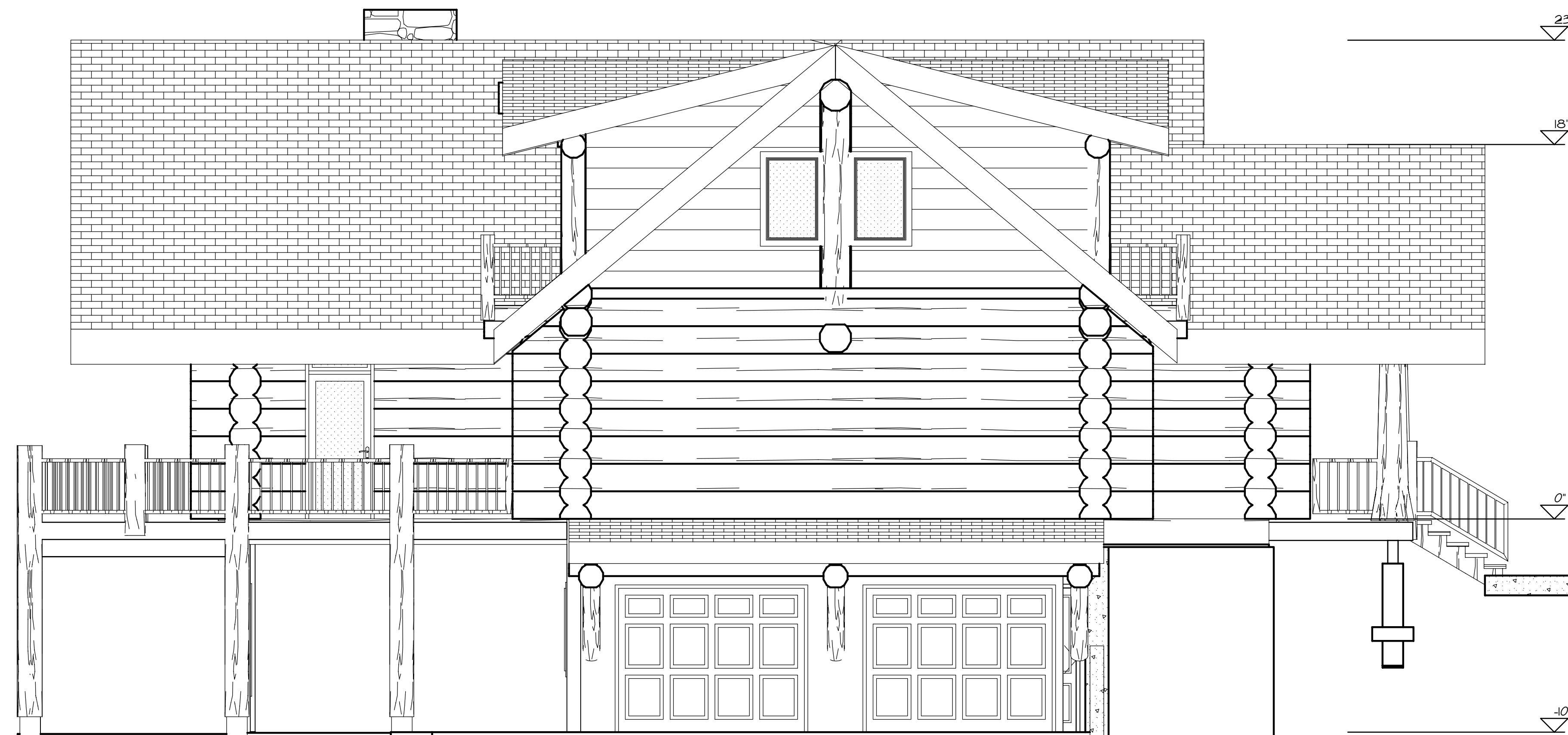
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PAGE:

A-1



ELEVATION 1/A2



ELEVATION 2/A2

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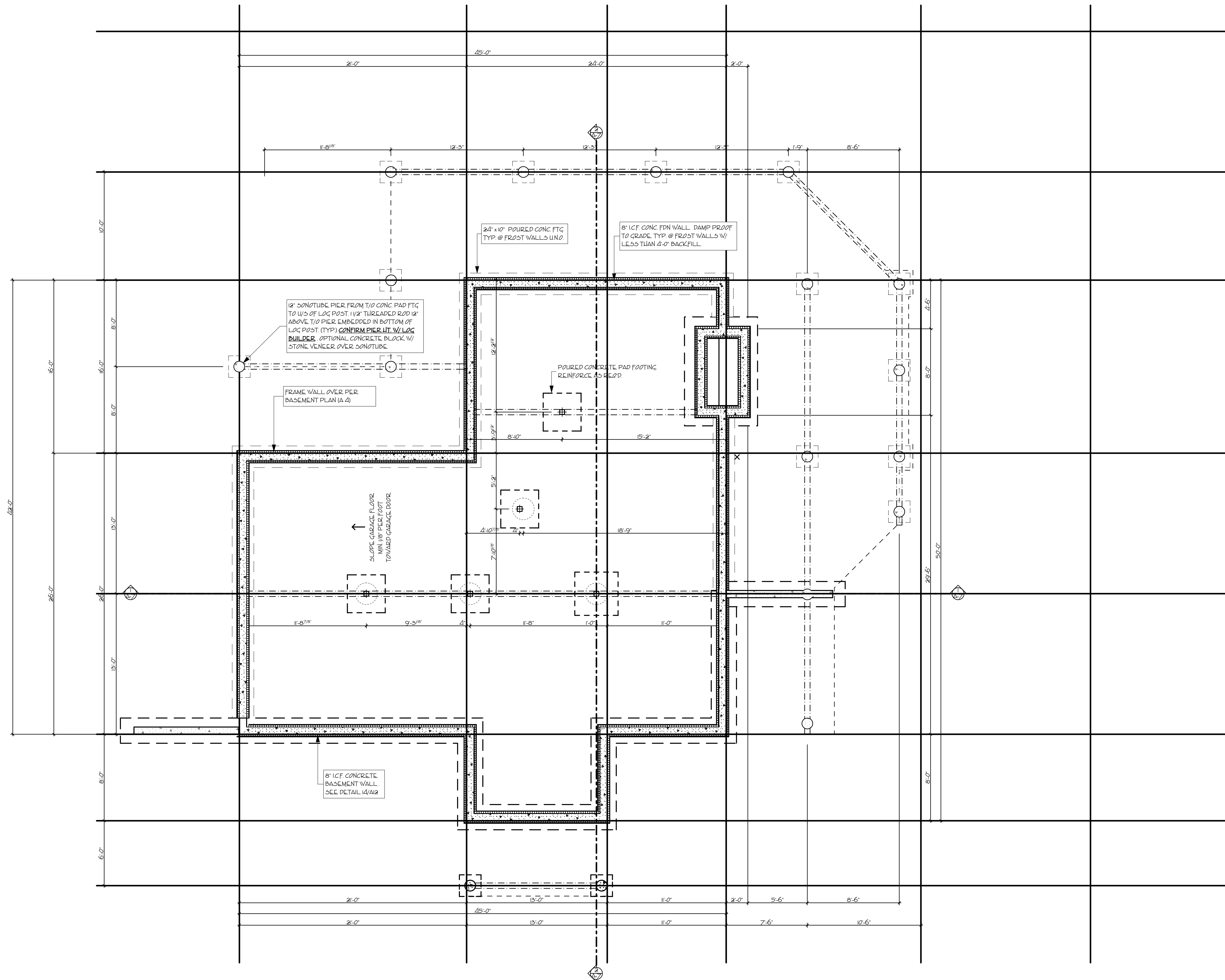
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DRAWING TITLE:

**FOUNDATION
 PLAN**

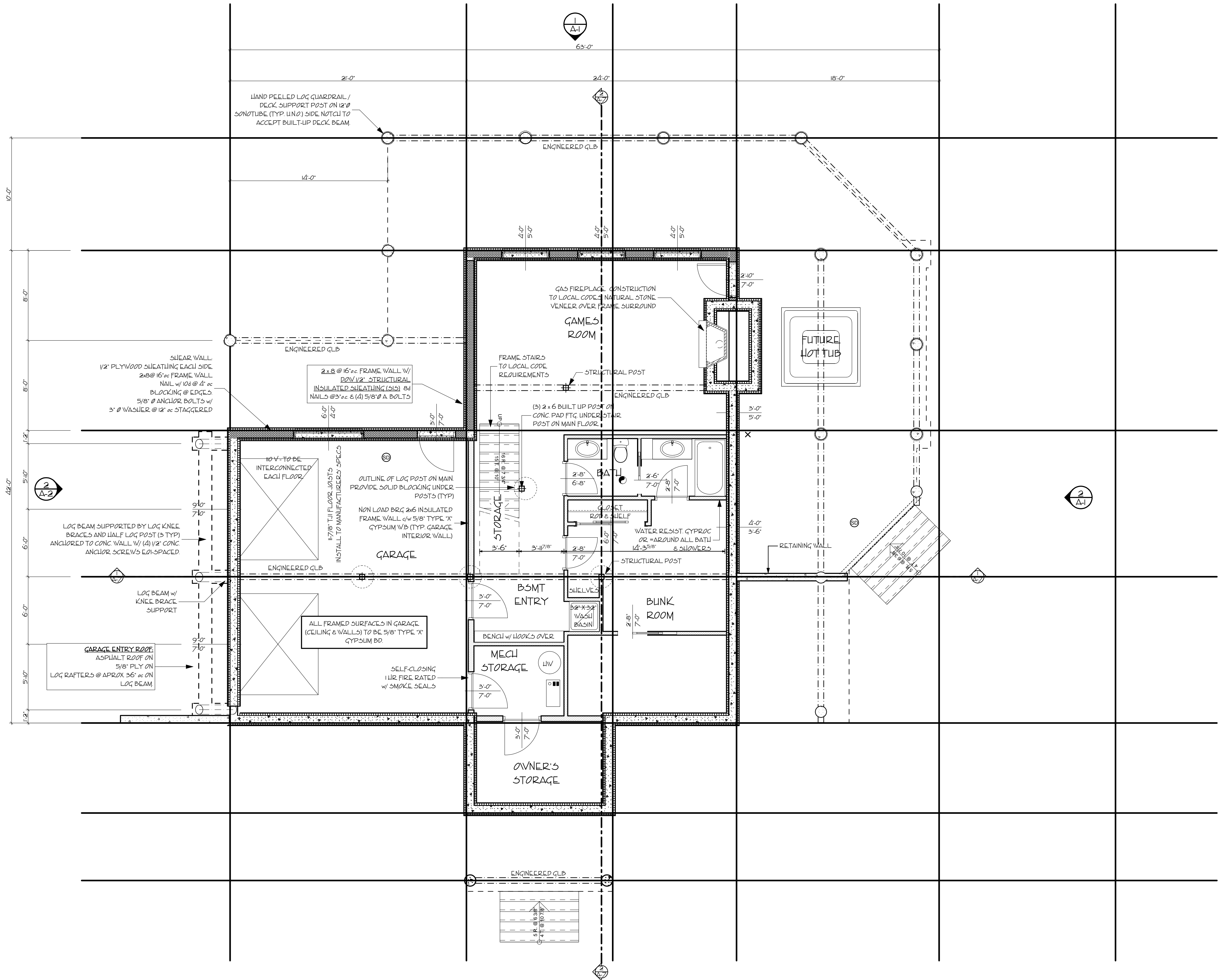
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A-3



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DRAWING TITLE:

**BASEMENT
 PLAN**

SCALE:

1/4" = 1'-0"

DATE:

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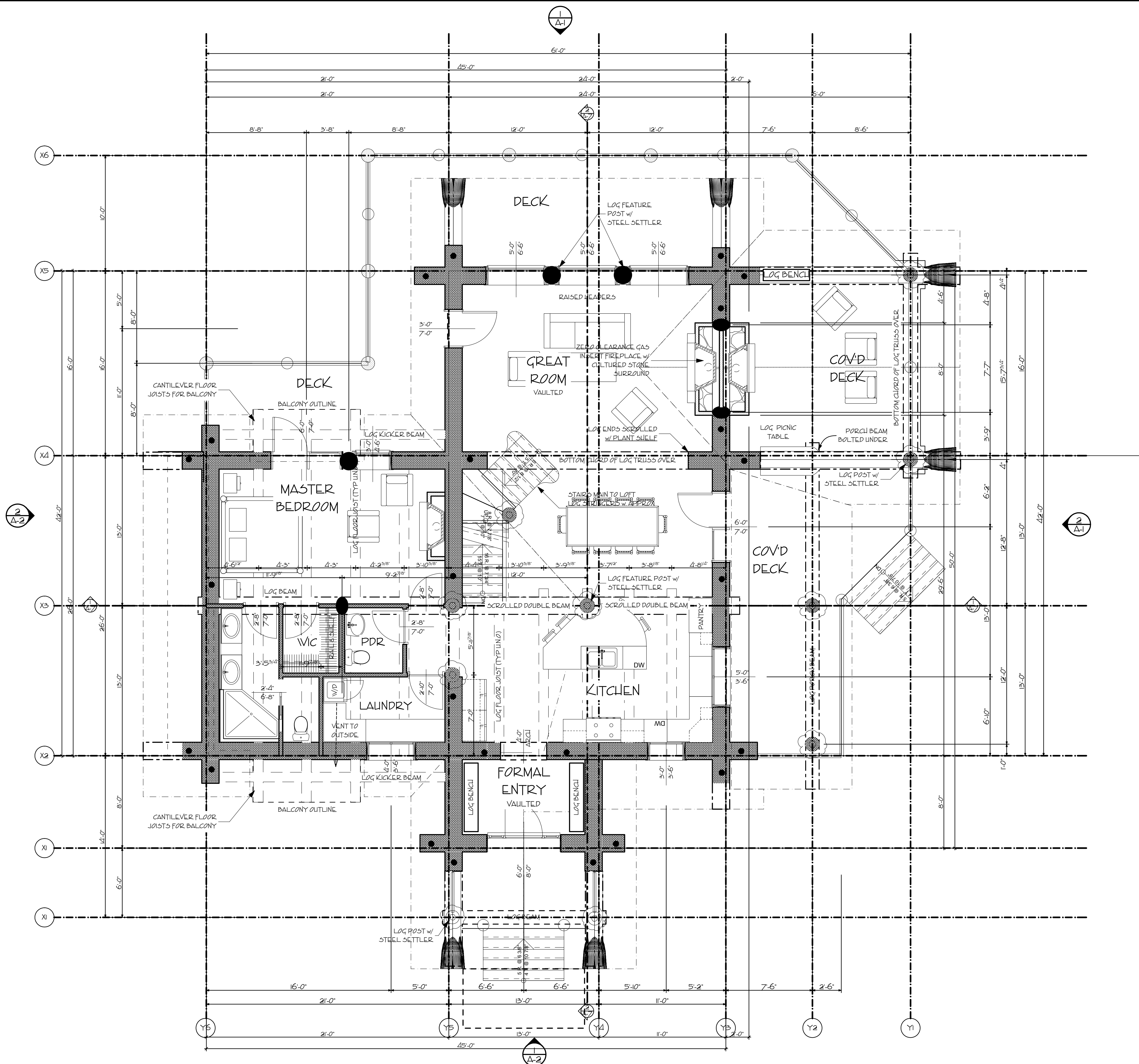
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A - 4



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DRAWING TITLE:

**MAIN FLOOR
 PLAN**

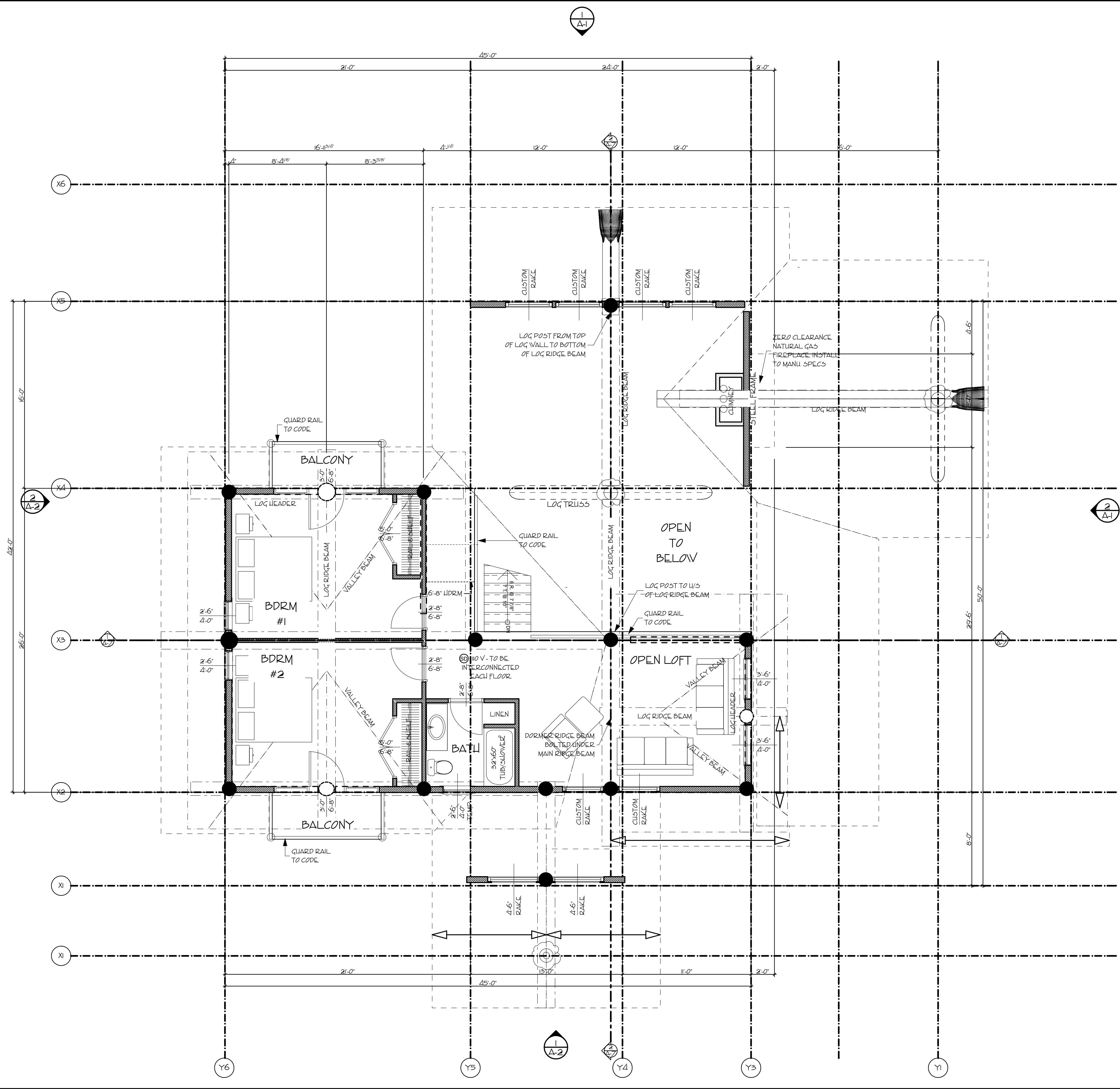
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PAGE:
A-6




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**LOFT FLOOR
 PLAN**

SCALE:
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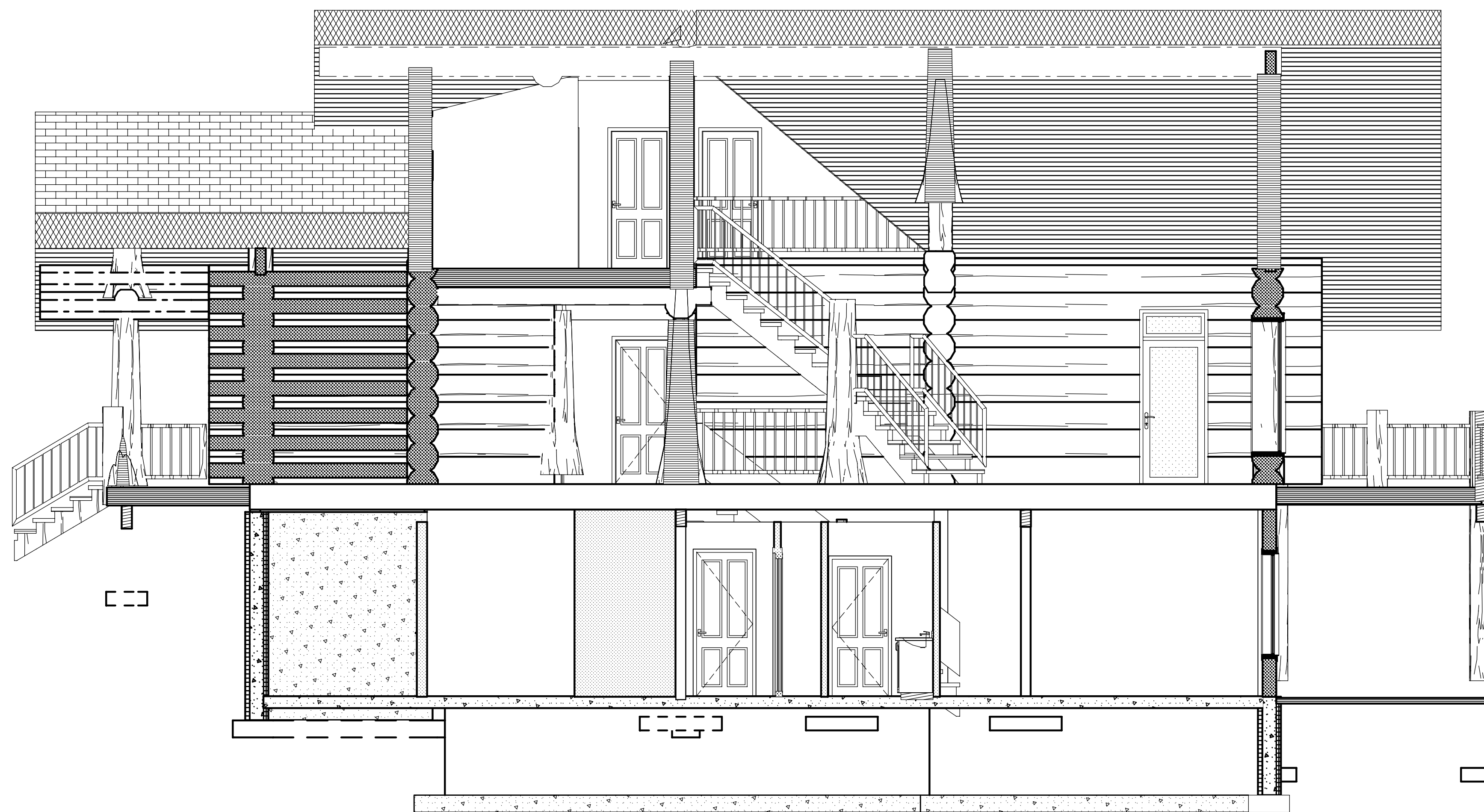
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A-7



SECTION 1/A9



SECTION 2/A9

GENERAL NOTES

- 1 ALL ENGINEERING INSPECTIONS AND COSTS REQUIRED AT ANY TIME FOR THE BUILDING WILL BE THE SOLE RESPONSIBILITY OF THE OWNER
- 2 CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE
- 3 WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS
- 4 ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE LOCAL BUILDING CODE
- 5 INFORMATION CONTAINED ON THESE DRAWINGS SHALL BE AT THE DISCRETION OF THE CONTRACTOR PROVIDED IT MEETS WITH THE ABOVE REQUIREMENTS AND REPRESENTS SOUND BUILDING PRACTICE
- 6 ALL DIMENSIONAL LUMBER TO BE SPF No 2 OR BETTER UNLESS NOTED OTHERWISE (LINO)
- 7 PROVIDE SMOKE DETECTORS AS REQUIRED IN BEDROOMS OUTSIDE OF BEDROOM TOP OF STAIRS AND AT EACH FLOOR AT LEAST ONE SMOKE ALARM IS TO BE LOCATED NOT MORE THAN 24' FROM THE HIGHEST POINT INSIDE THE STRUCTURE ALL DETECTORS TO BE PERMANENTLY WIRED TO INTERCONNECTED EACH FLOOR THROUGHOUT W/ BATTERY BACK-UP
- 8 PERIMETER DRAIN IF REQUIRED TO BE IN ACCORDANCE WITH LOCAL BUILDING CODE
- 9 FLOOR JOISTS TO REST ON 2x6 TREATED SILL PLATE OR DOUBLE TOP PLATE
- 10 2x6 TREATED SILL PLATE TO BE ANCHORED TO FOUNDATION WALL USING MIN 5/8" dia STEEL ANCHOR BOLTS W/ 2" x 2" x 3/16" WASHERS SPACED NOT MORE THAN 6'-0" oc MAX 12' FROM A CORNER MINIMUM 2 ANCHOR BOLTS PER SILL
- 11 SITE PLAN AND LEGAL SHALL BE SUPPLIED AND COMPLETED BY OWNER
- 12 OWNER AND CONTRACTOR SHALL CHECK THE SPECIFICATIONS AGAINST THE BLUEPRINTS
- 13 ACTUAL DOORS AND WINDOWS USED ON THE JOB MAY VARY IN MAKE-UP AND APPEARANCE FROM BLUEPRINT UNLESS SPECIFIED CONFIRM WINDOW AND DOOR SUPPLIER WITH LOG BUILDER WINDOWS AND DOORS ARE NOT TO BE ORDERED UNTIL OPENING DIMENSIONS ARE CONFIRMED WITH LOG BUILDER
- 14 OWNER TO ENSURE THAT THE FOLLOWING IS COMPLETE PRIOR TO THE ARRIVAL OF THE LOG PACKAGE FIRST FLOOR FRAMING TO BE COMPLETE AND SUBFLOOR INSTALLED 1x6 TREATED WOOD SPACERS TO BE NAILED TO SUBFLOOR AT LOG WALL LOCATIONS FOR LOG WALLS TO SIT ON A 2x6 TREATED WOOD SPACER WILL BE PLACED BENEATH THE 1x6 IF A POURED CONCRETE TOPPING FOR HEATING IS TO BE USED ON THE FIRST FLOOR ALL EXTERIOR WOOD SPACERS TO HAVE SILL SEAL ABOVE AND BELOW WITH A GALVANIZED DRIP EDGE ABOVE THE WOOD SPACERS AND SILL SEAL THIS DRIP EDGE TO BE BROWN GREEN COLORED OR COPPER
- 15 OWNER TO PROVIDE 1x4 WOOD SPACERS WHICH ARE TO BE USED AT THE TOPS OF LOG WALLS AND LOG ROOF MEMBERS (PURLINS RIDGE BEAMS) WHICH SUPPORT THE ROOF (NOT APPLICABLE IF USING SIP PANEL W/ CEILING FINISHED - SEE ROOF ASSEMBLY NOTE ON LOFT FLOOR PLAN)
- 16 IF REQUIRED AN ENGINEER CERTIFIED IN THE PROJECT LOCATION MUST COMPLETE A FULL PLAN REVIEW AND SEAL THESE DRAWINGS PRIOR TO THE APPLICATION OF ANY BUILDING PERMITS AND BEFORE THE START OF ANY CONSTRUCTION OR EXCAVATION ENGINEER HOLDS NO LIABILITY FOR UNAUTHORIZED CHANGES MADE TO THE CONSTRUCTION DOCUMENTS THAT RESULT IN DAMAGES

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DRAWING TITLE:

SECTION

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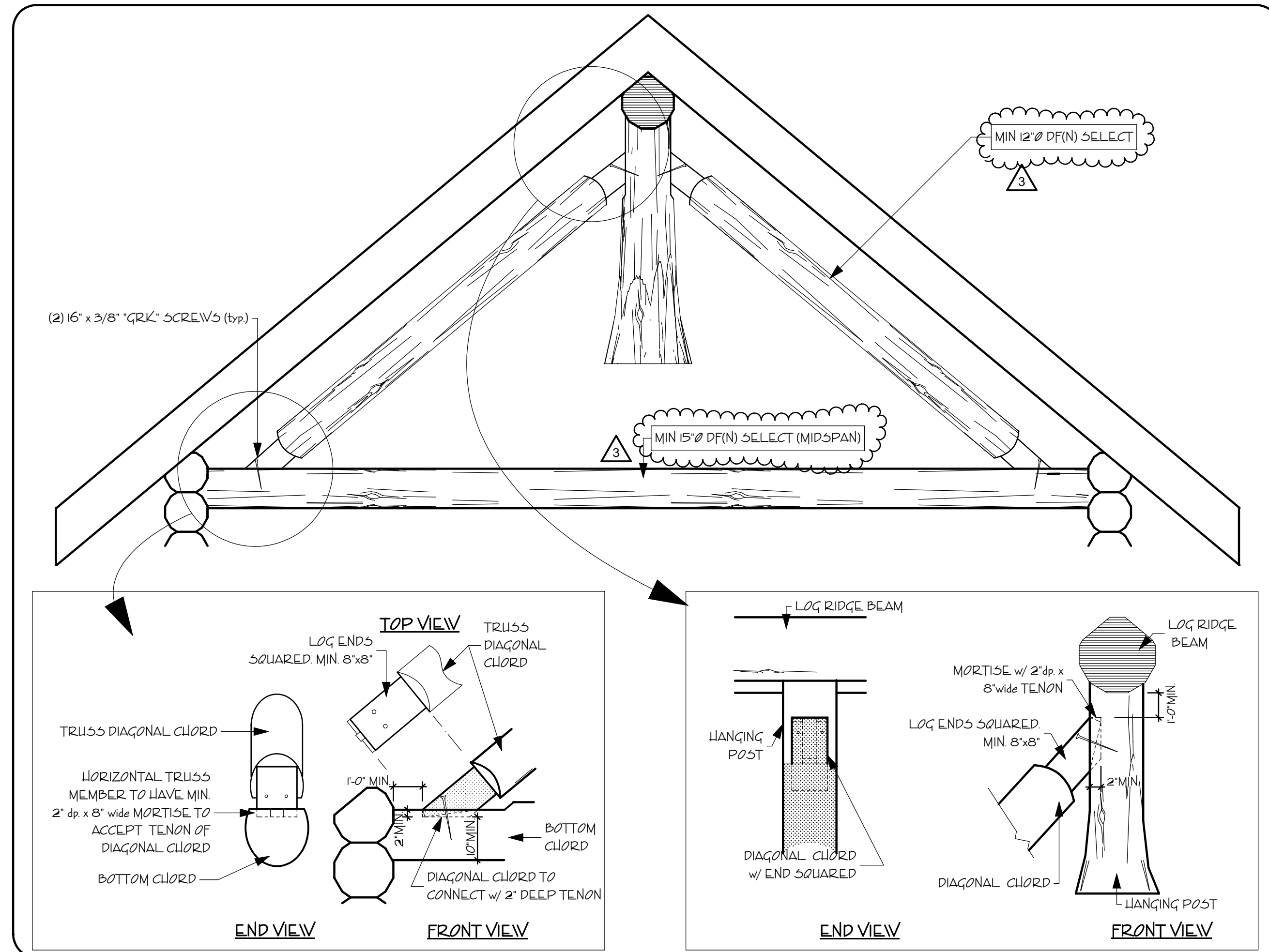
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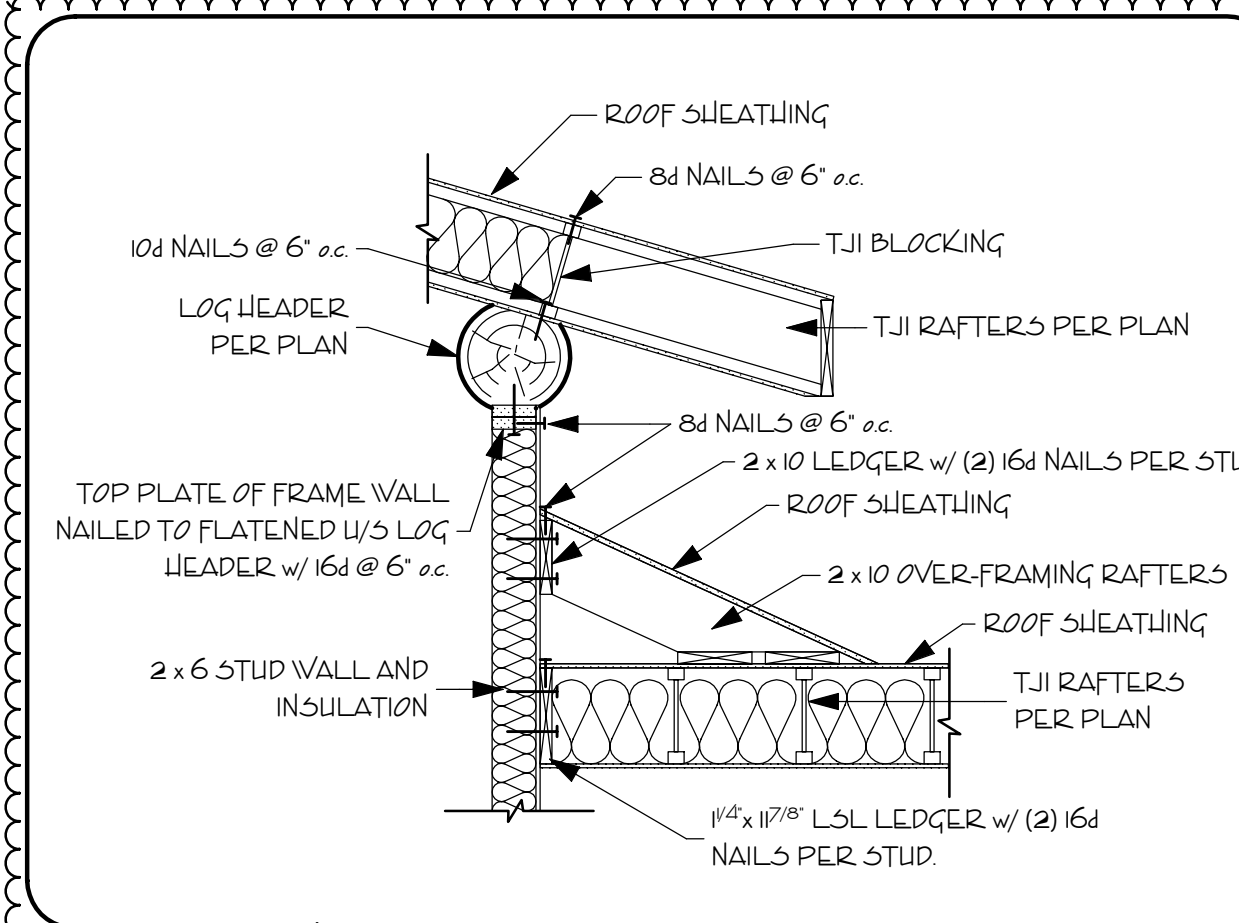
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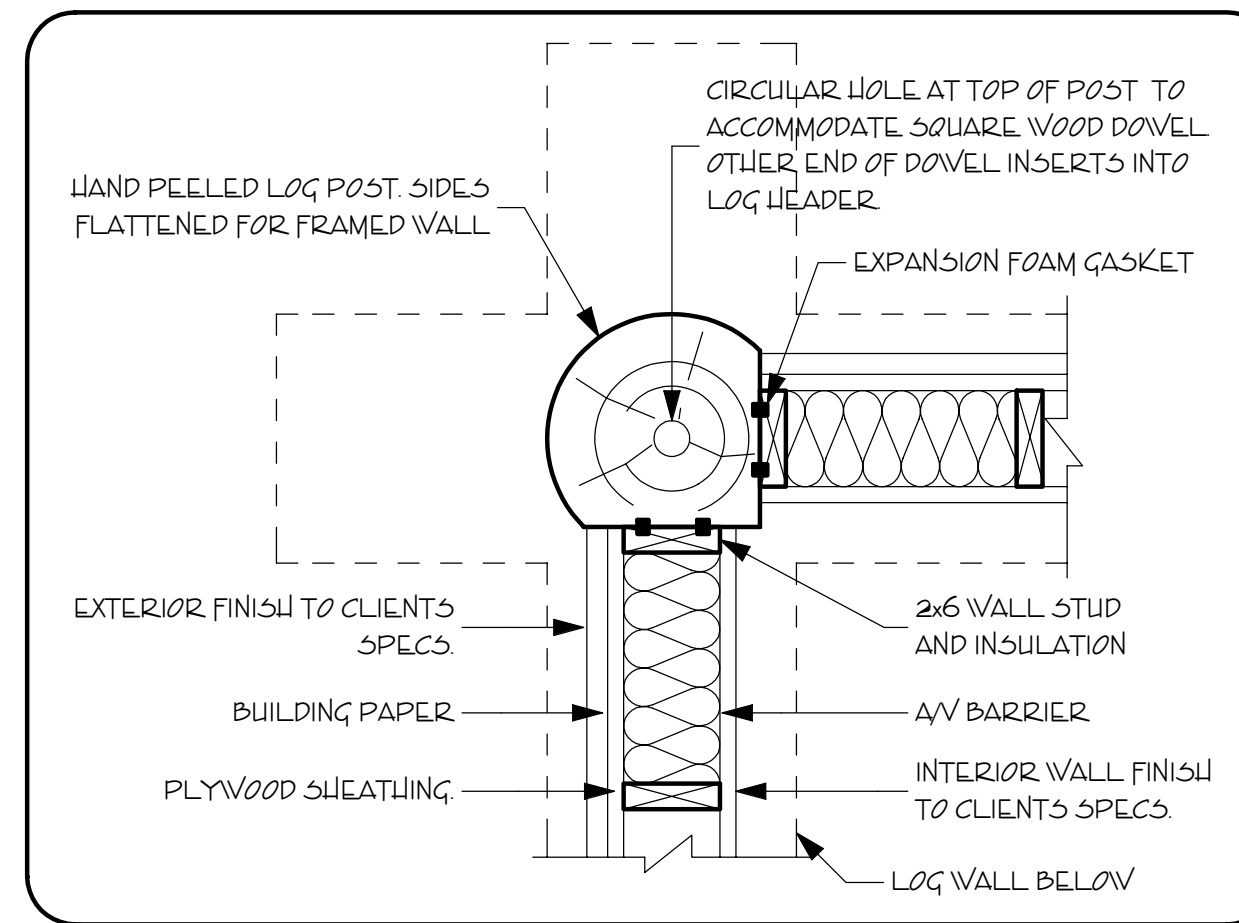
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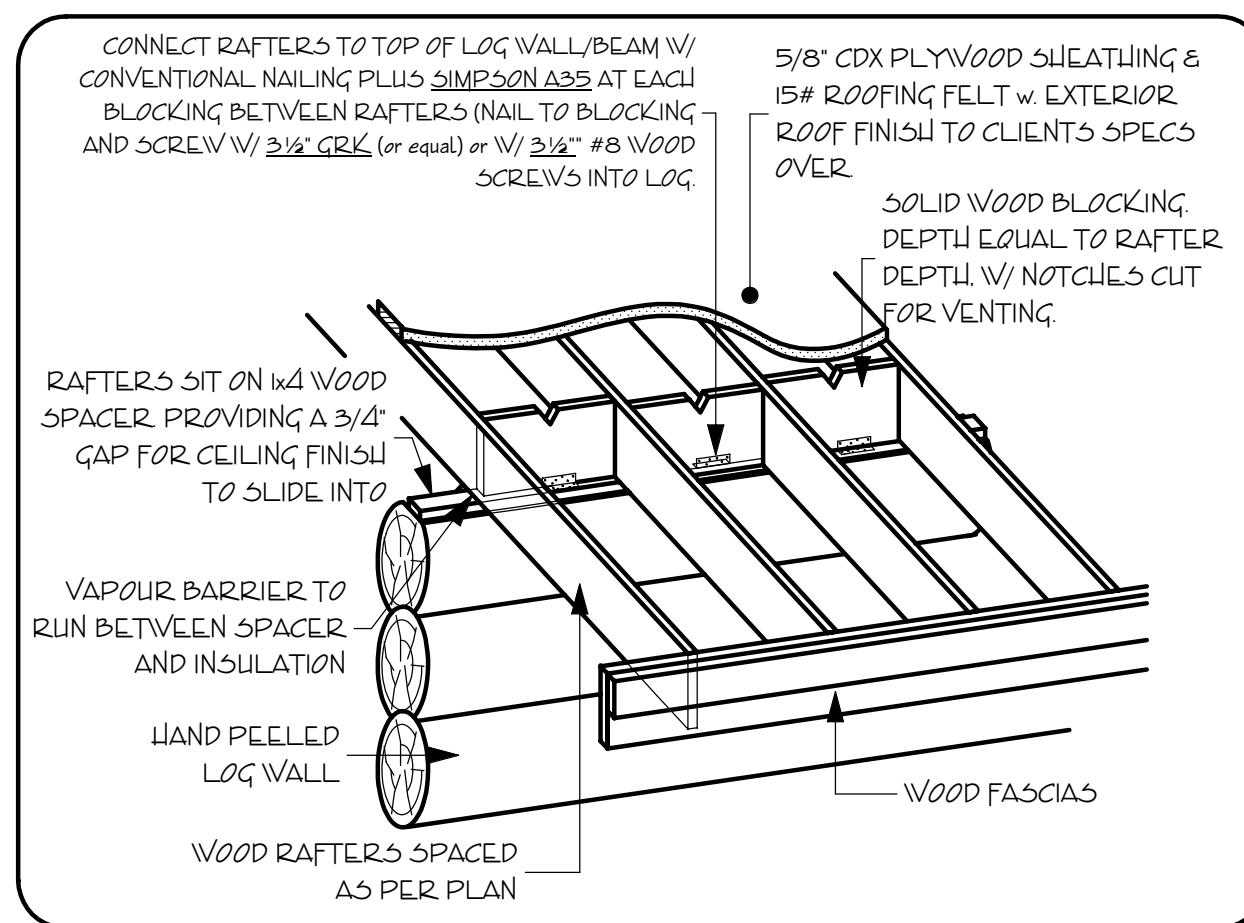
1 HANGING TRUSS CONNECTION DETAIL (N.T.S.)
A-10



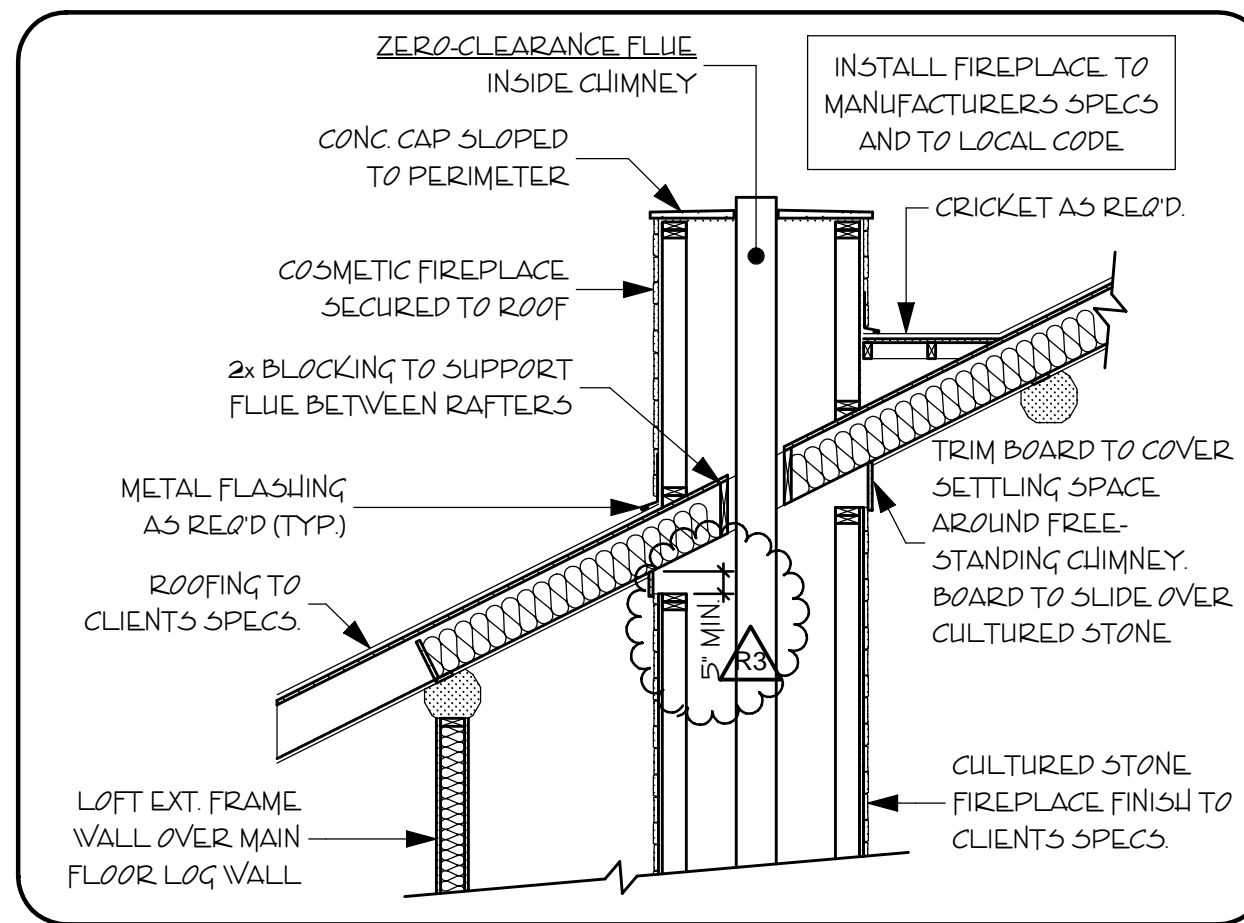
2 ROOF OVERFRAME DETAIL
A-10



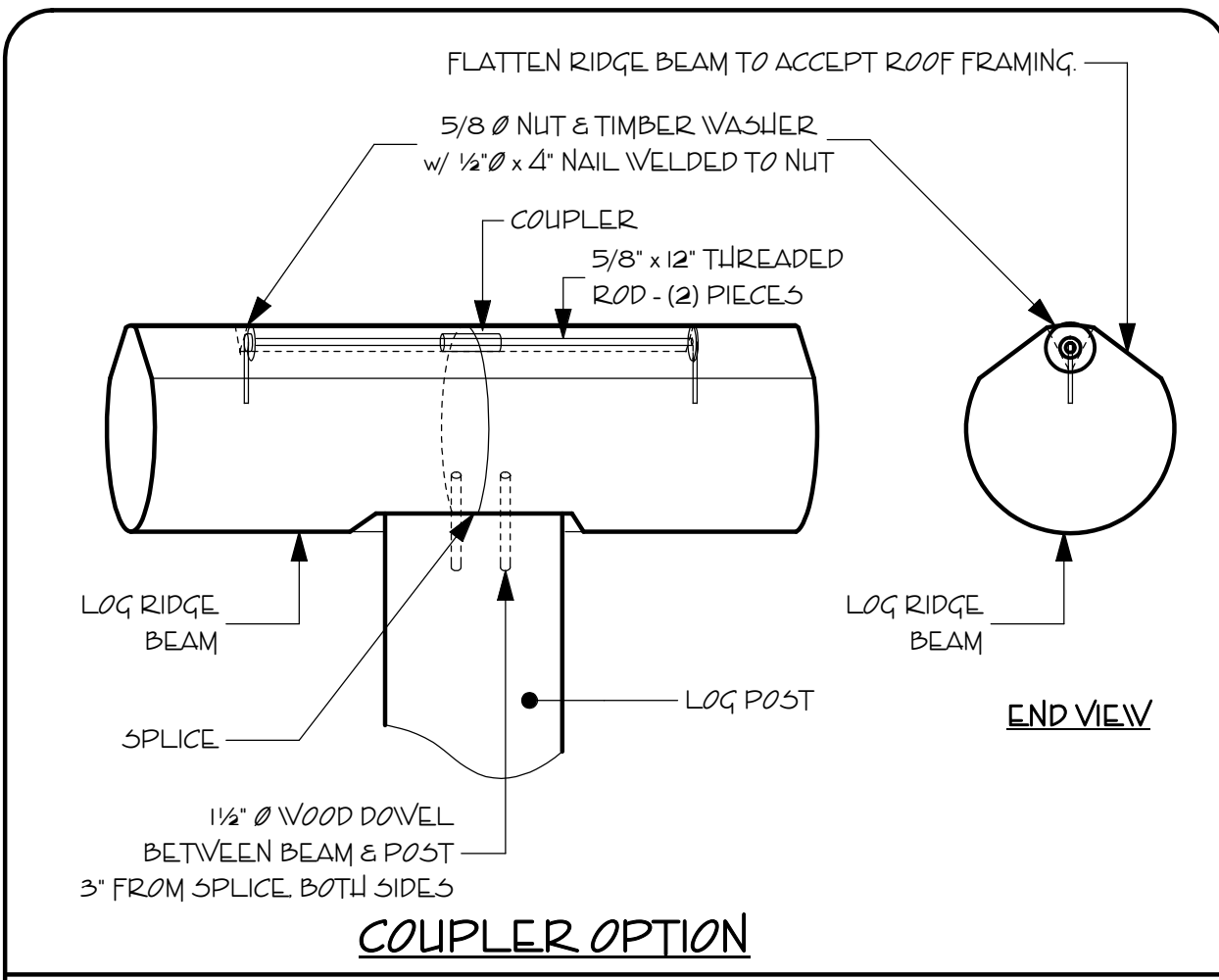
3 STANDARD RANCH DORMER CORNER POST/WALL FRAMING INTERSECTION
A-10



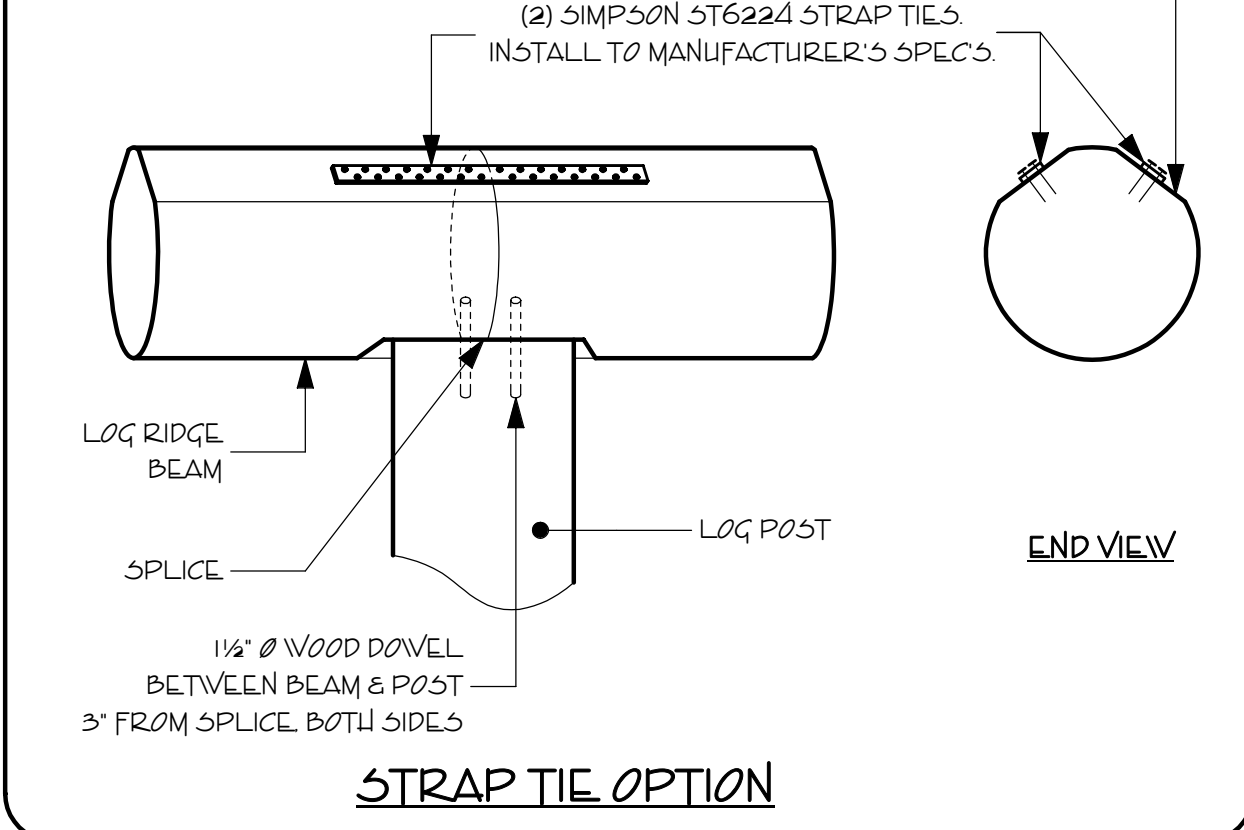
4 LOG WALL/ROOF INTERSECTION DETAIL (PLYWOOD SHEATHING)
A-10



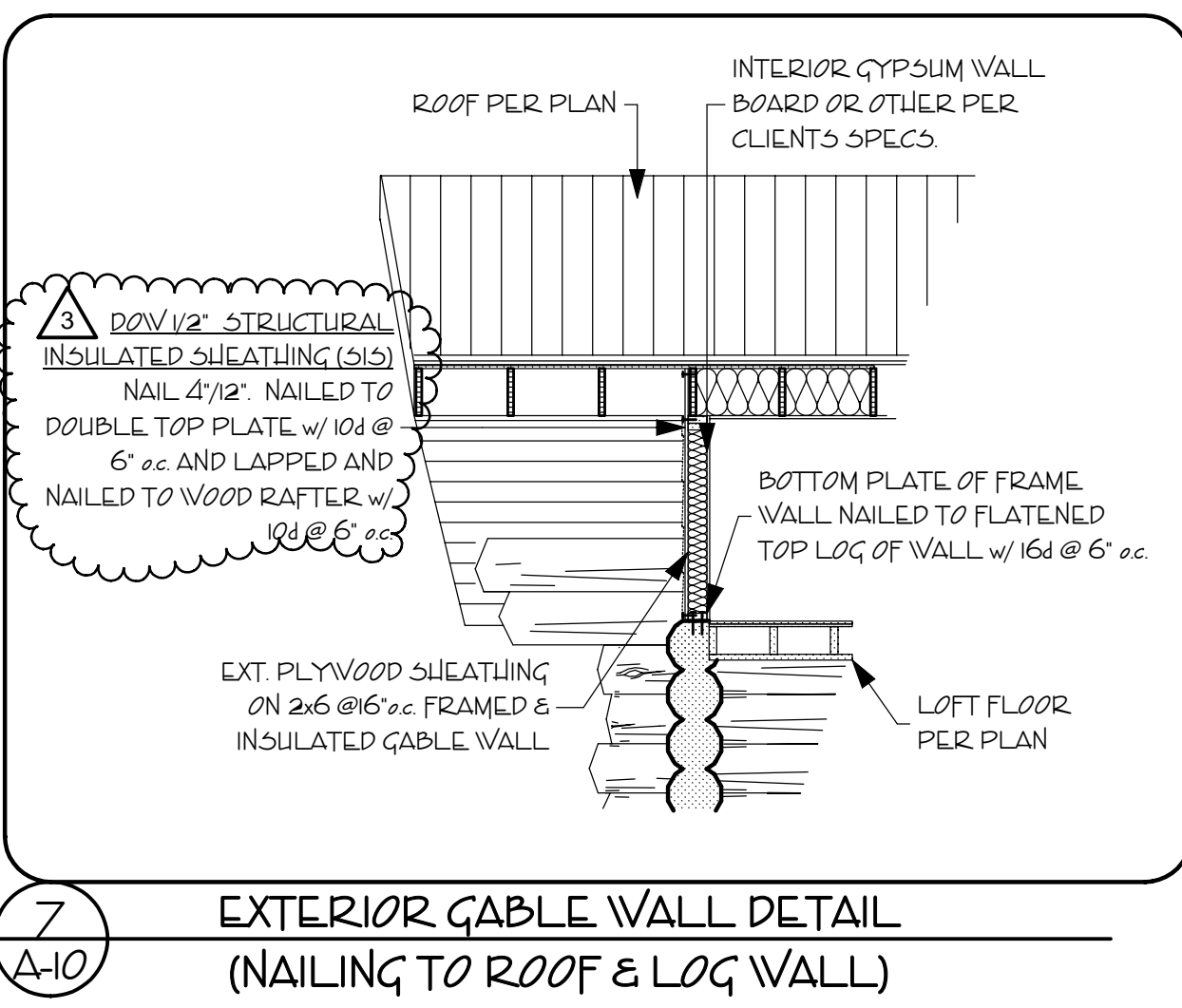
5 ZERO-CLEARANCE CHIMNEY/ROOF INTERSECTION DETAIL (SETTLING)
A-10



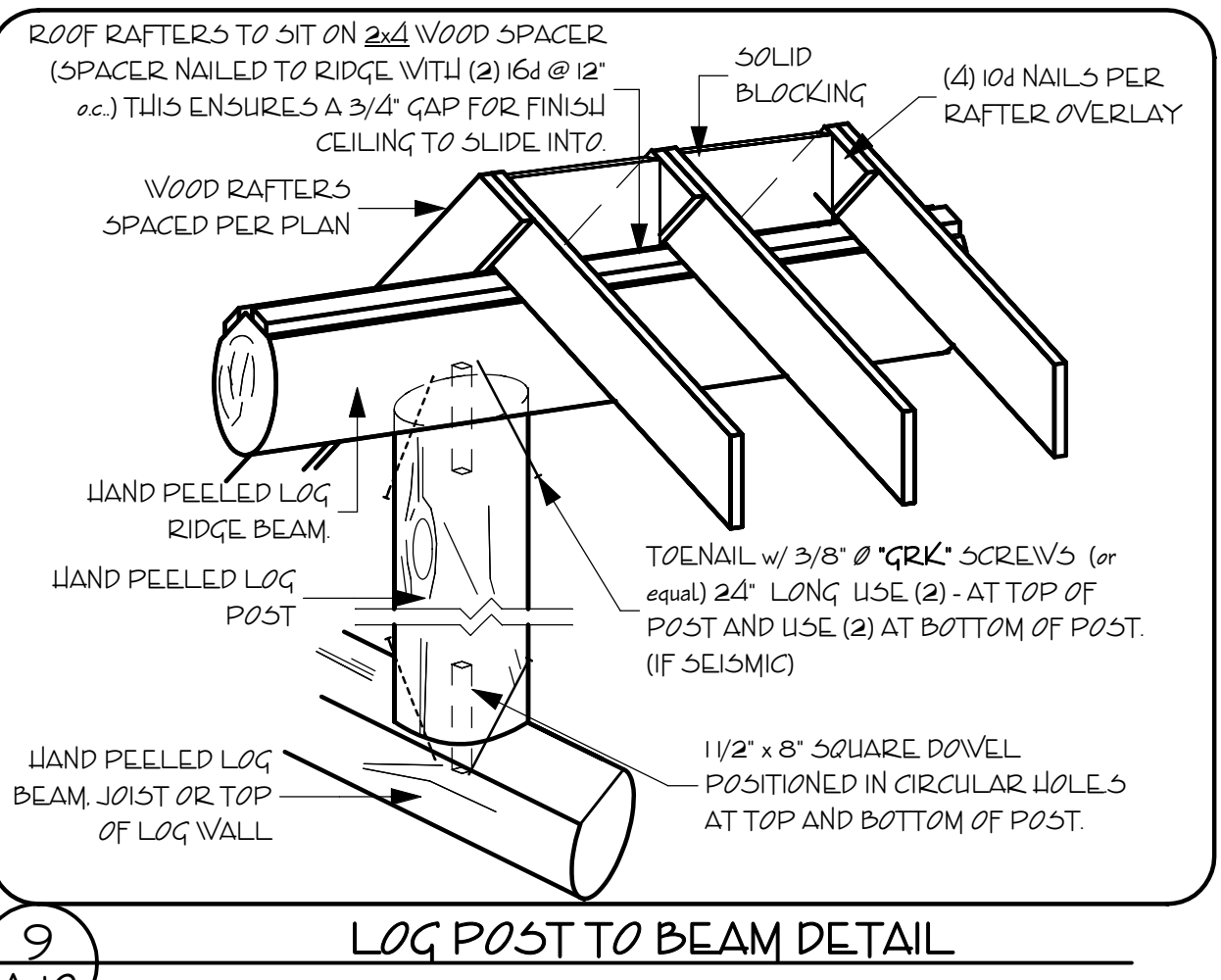
6 RIDGE BEAM SPLICE CONNECTION DETAIL
A-10



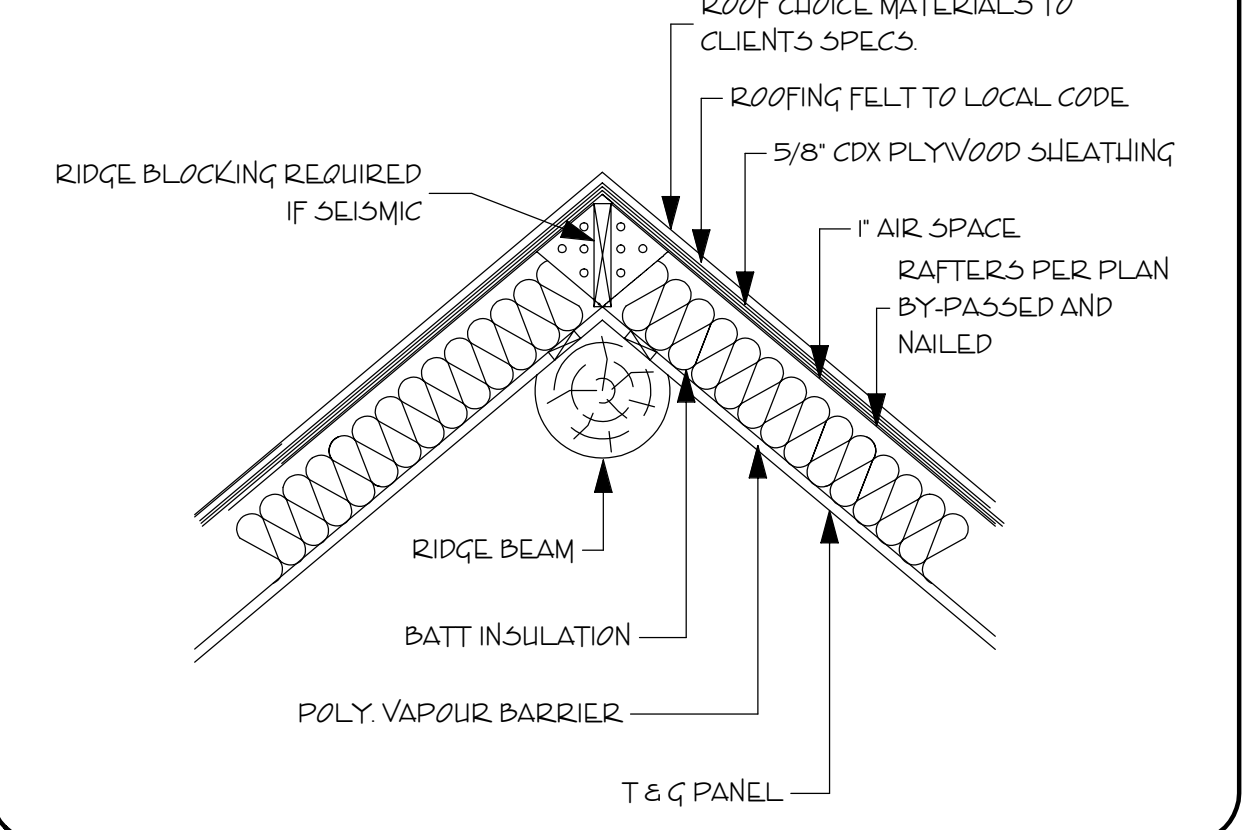
7 EXTERIOR GABLE WALL DETAIL (NAILING TO ROOF & LOG WALL)
A-10



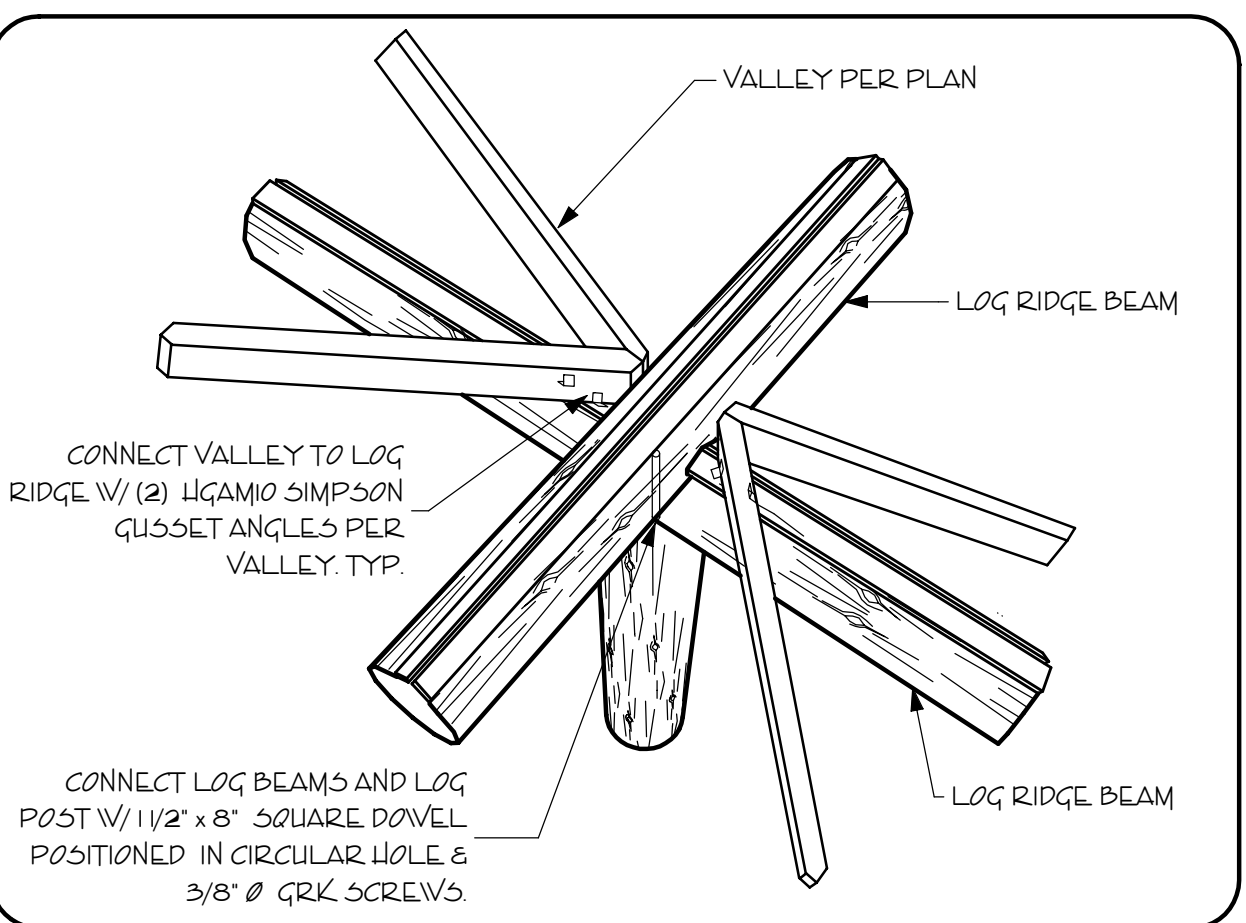
8 ZERO-CLEARANCE CHIMNEY/ROOF INTERSECTION W/ TRIM DETAIL
A-10



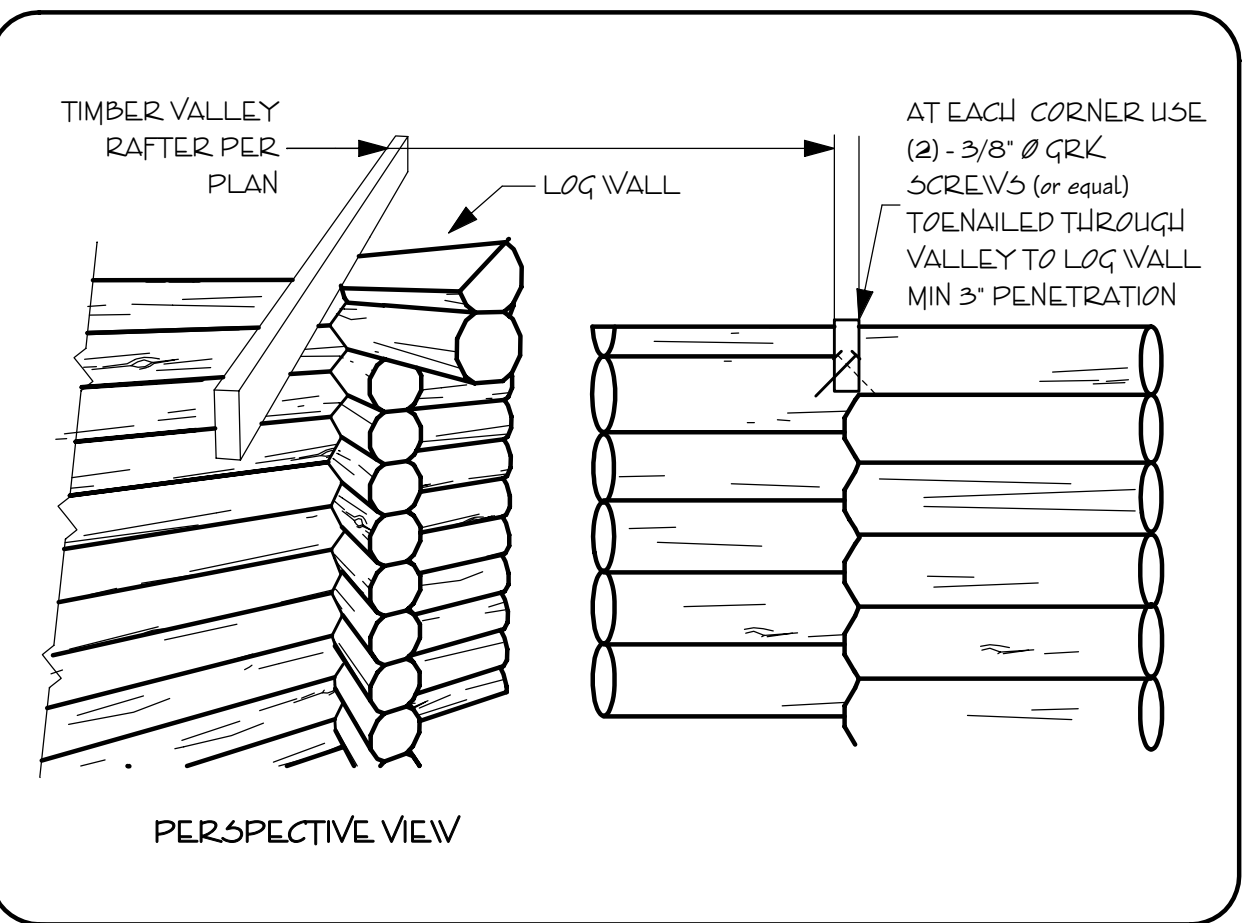
9 LOG POST TO BEAM DETAIL
A-10



10 ROOF SYSTEM - RIDGE DETAIL (PLYWOOD SHEATHING)
A-10



11 VALLEY RAFTER INTERSECTION DETAIL
A-10



12 VALLEY RAFTER @ LOG WALL DETAIL
A-10

NOTES:
1. ALL DETAILS MAY NOT APPLY

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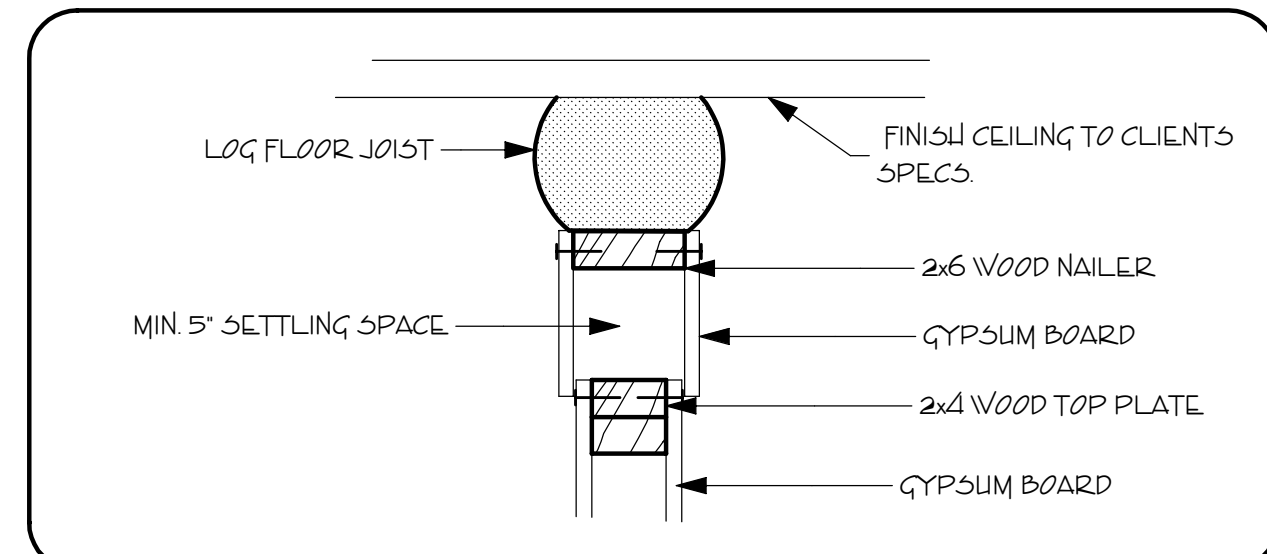
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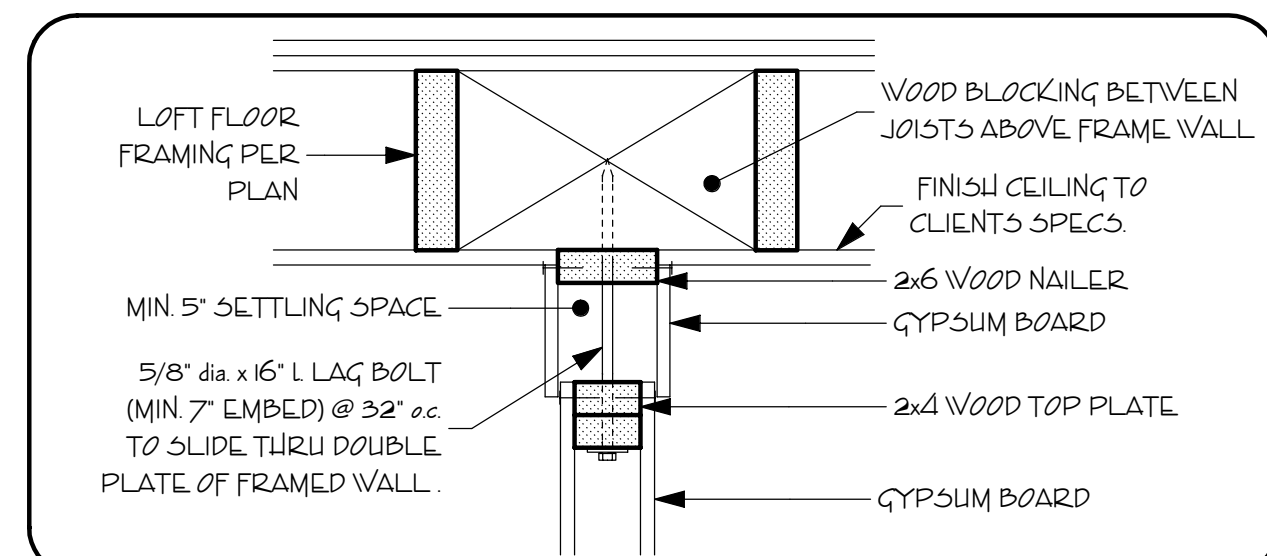
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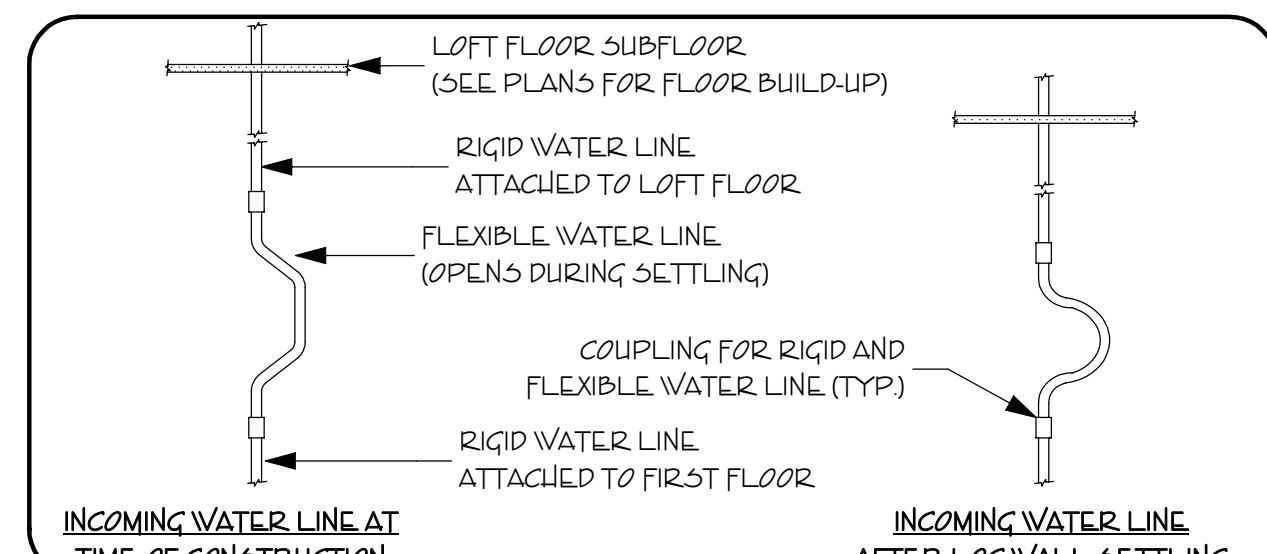
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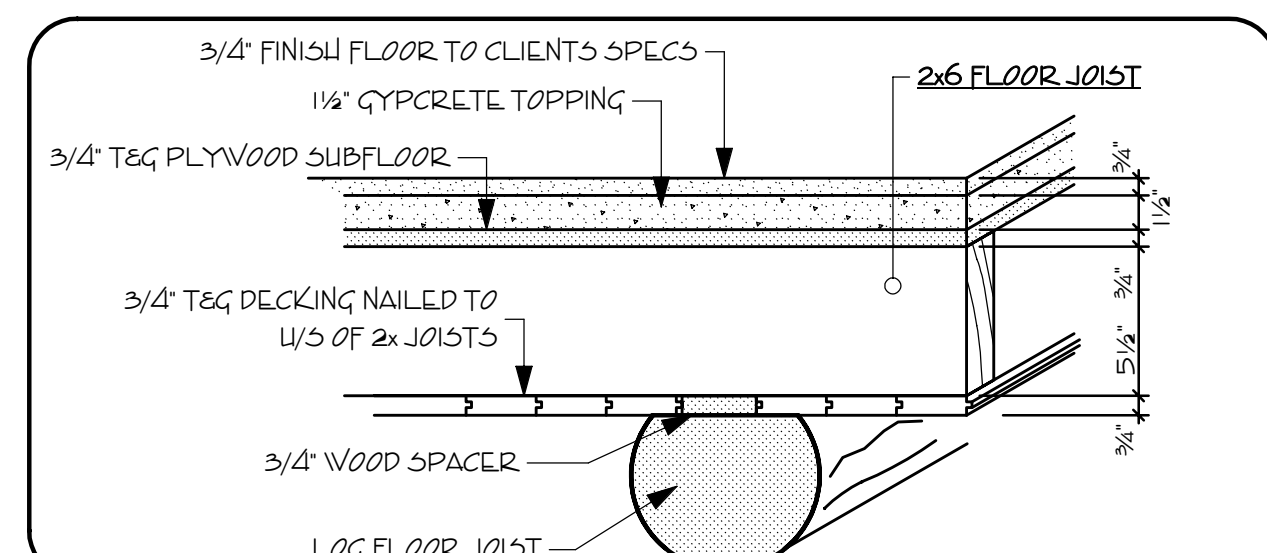
1 INTERIOR FRAME WALL SETTLING DETAIL
A-II



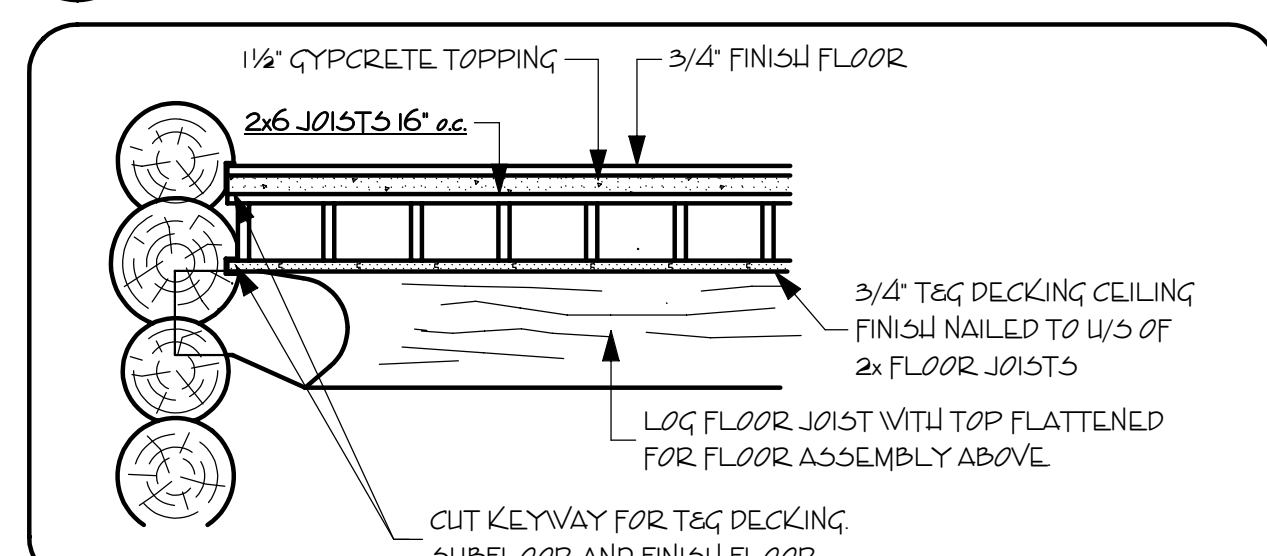
2 INTERIOR FRAME WALL SETTLING DETAIL
A-II



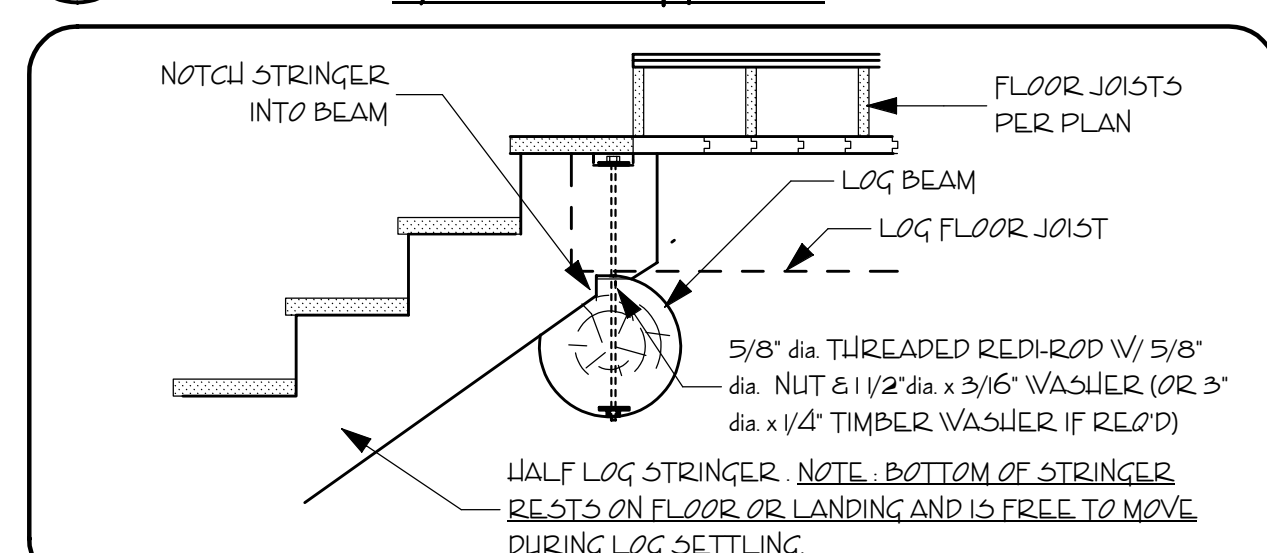
3 WATER LINE SETTLING DETAIL
A-II



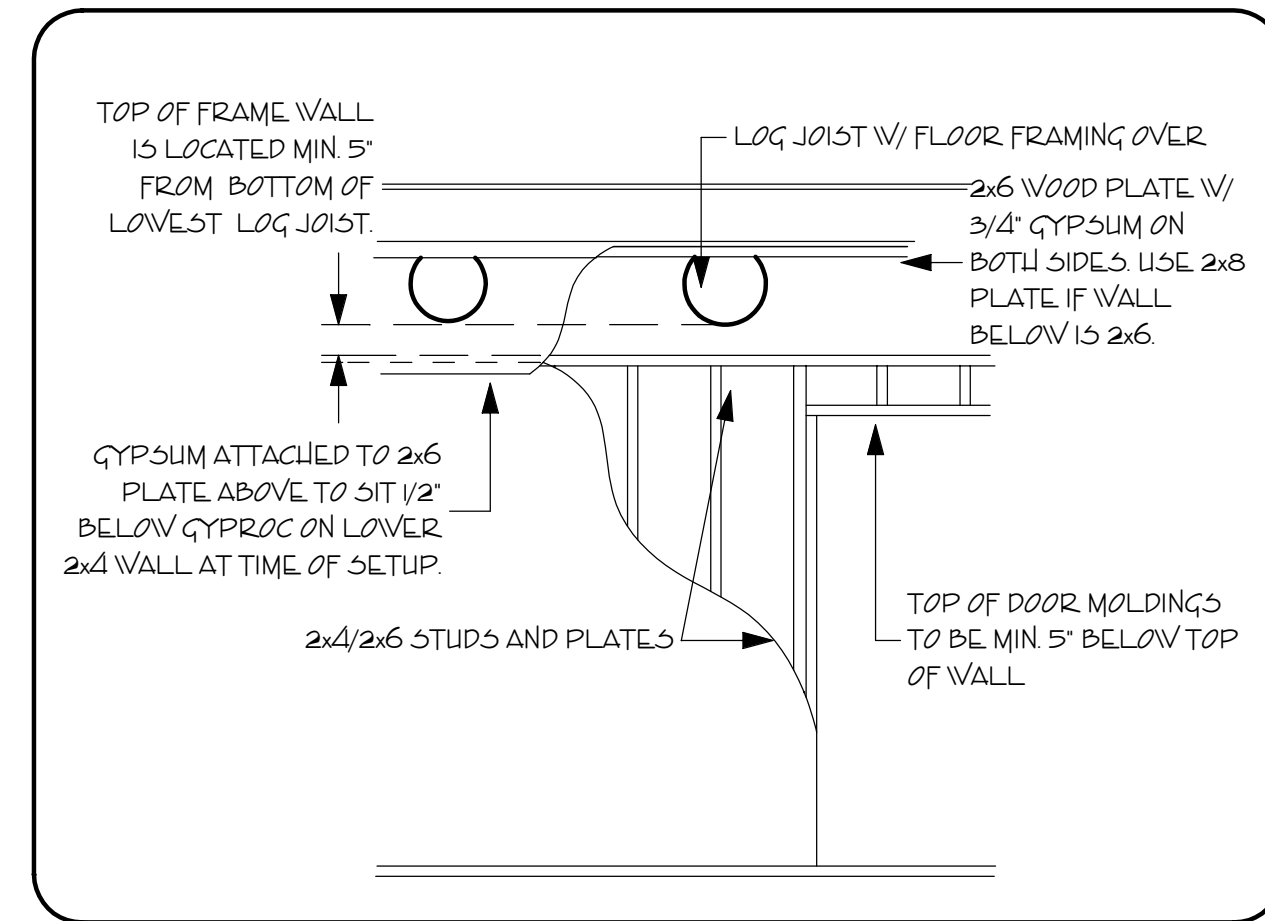
4 LOFT FLOOR FRAMING DETAIL (GYPCRETE & 3/4" CEILING FINISH)
A-II



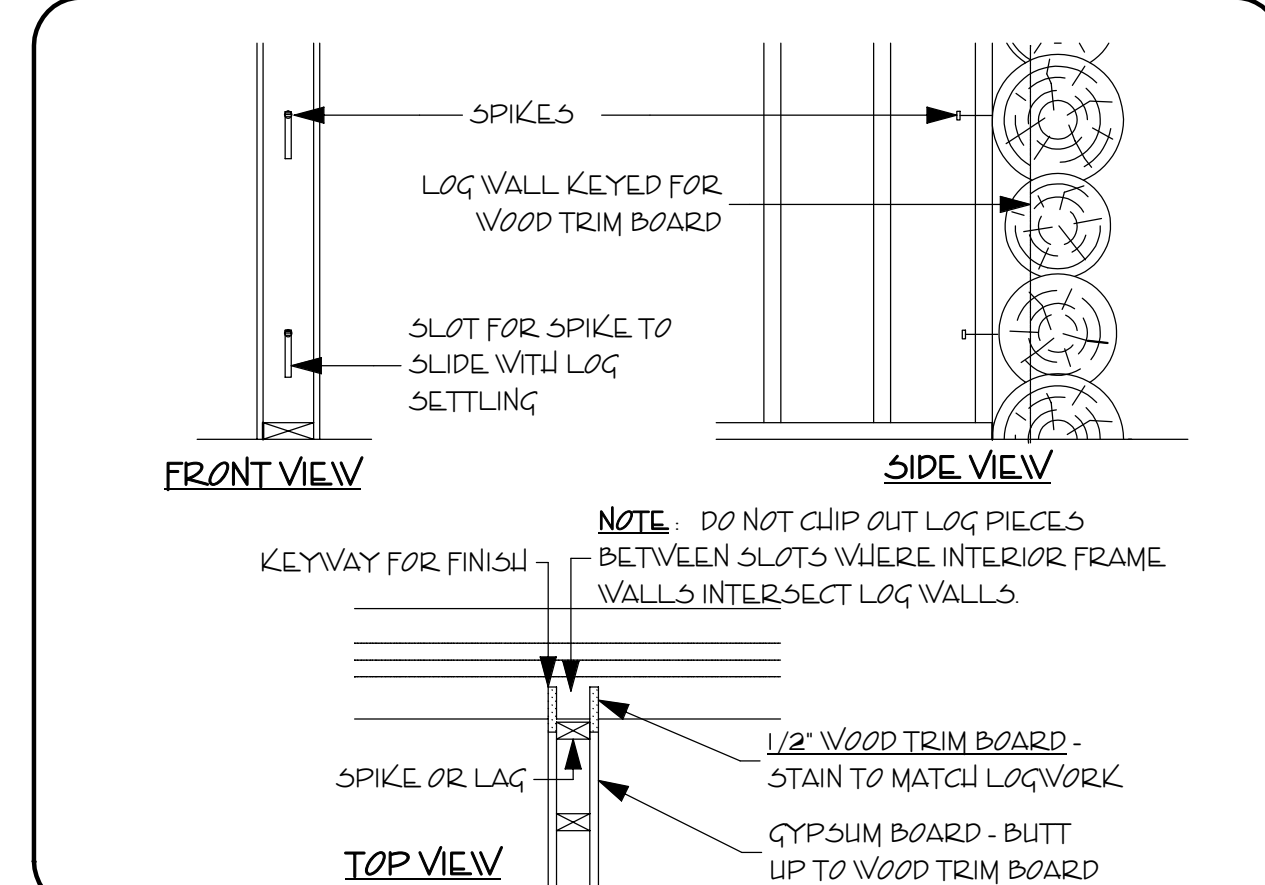
5 LOFT FLOOR FRAMING DETAIL 3/4" CEILING FINISH
A-II



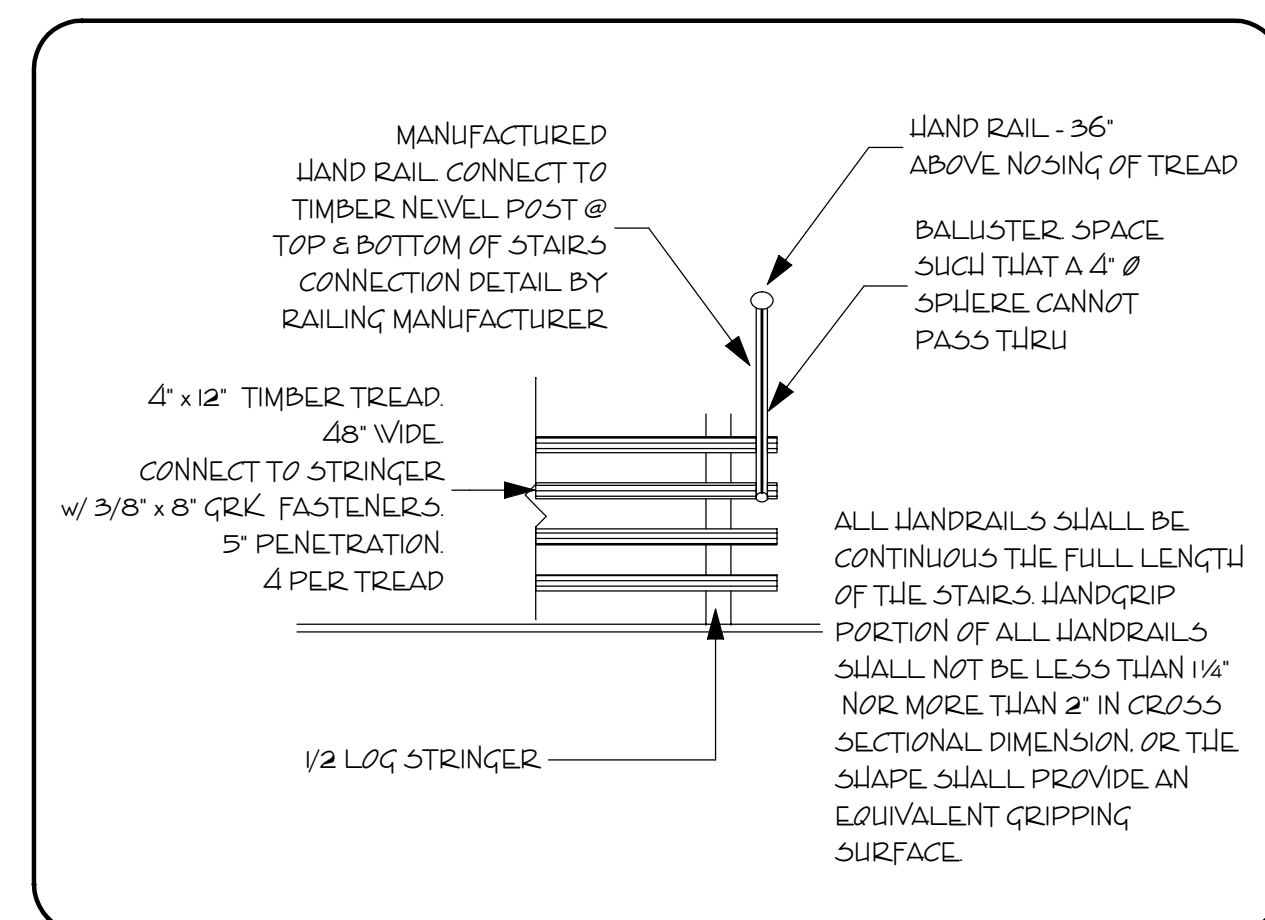
6 HALF LOG STRINGER CONNECTION DETAIL TO LOFT FLOOR JOIST
A-II



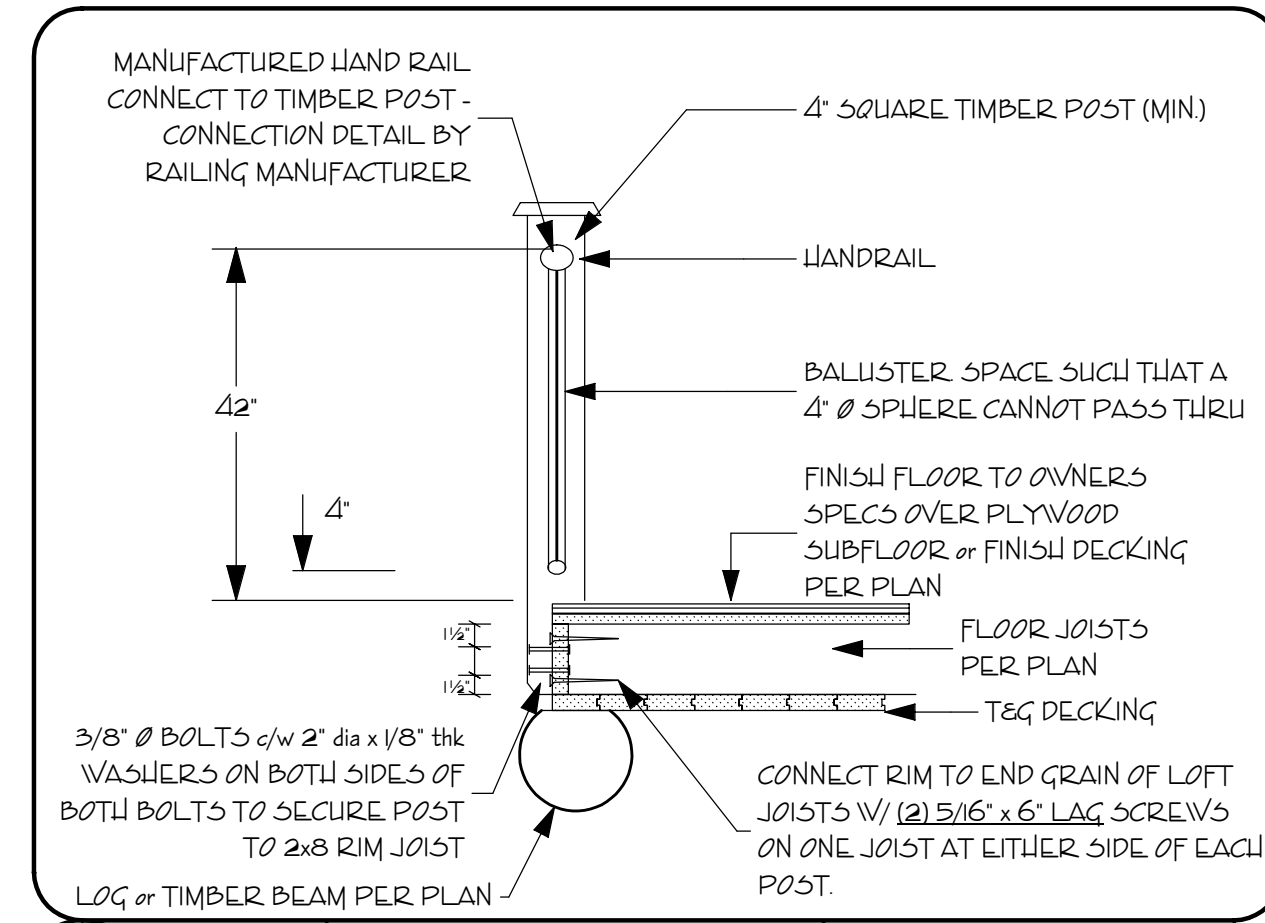
7 MAIN FLOOR FRAME WALL SETTLING UNDER LOG JOISTS
A-II



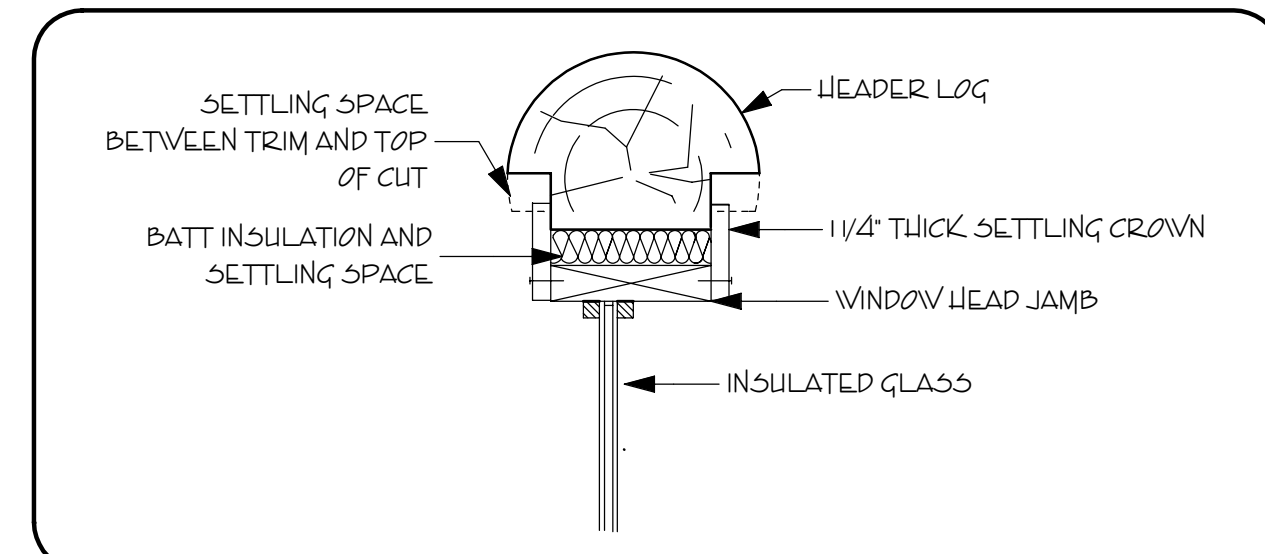
8 FRAMED WALL/LOG WALL INTERSECTION - DRYWALL FINISH
A-II



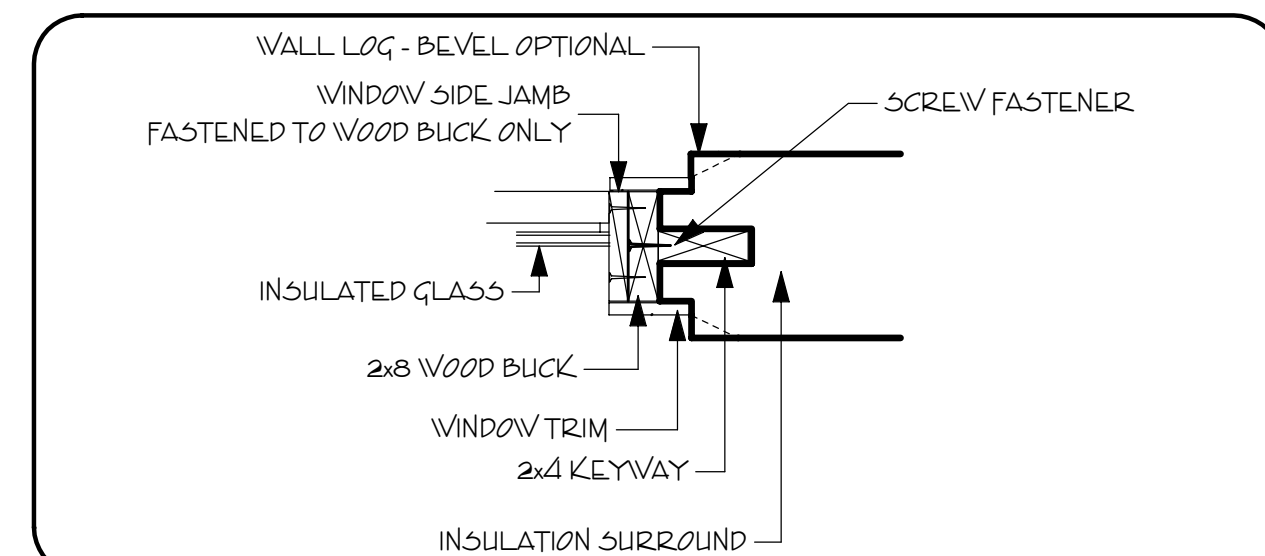
9 STAIR/HANDRAIL SECTION
A-II



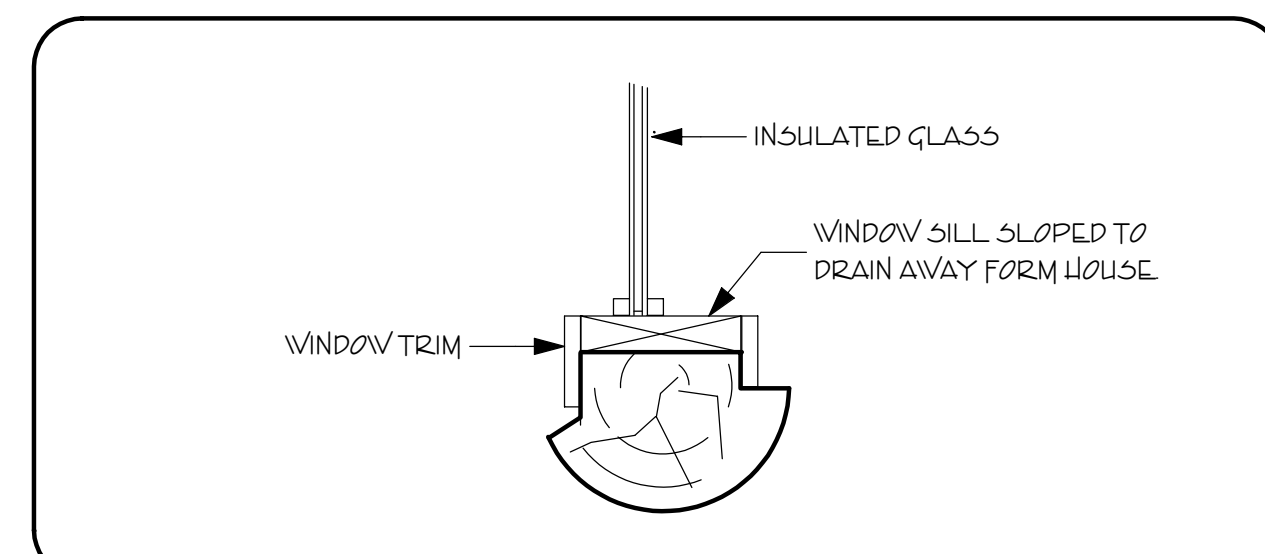
10 INTERIOR LOFT BALCONY RAIL or EXTERIOR DECK RAIL DETAIL
A-II



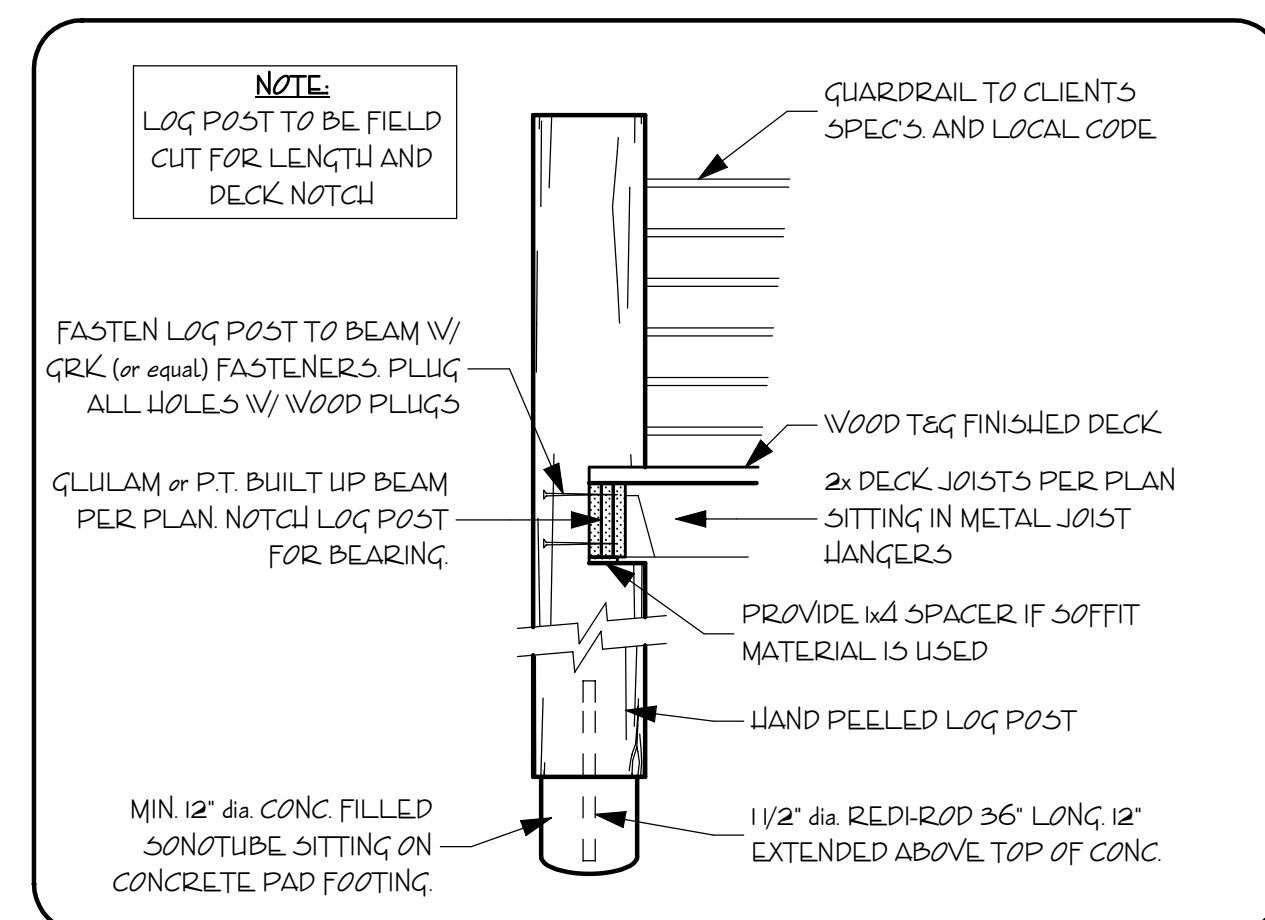
11 WINDOW HEADER DETAIL
A-II



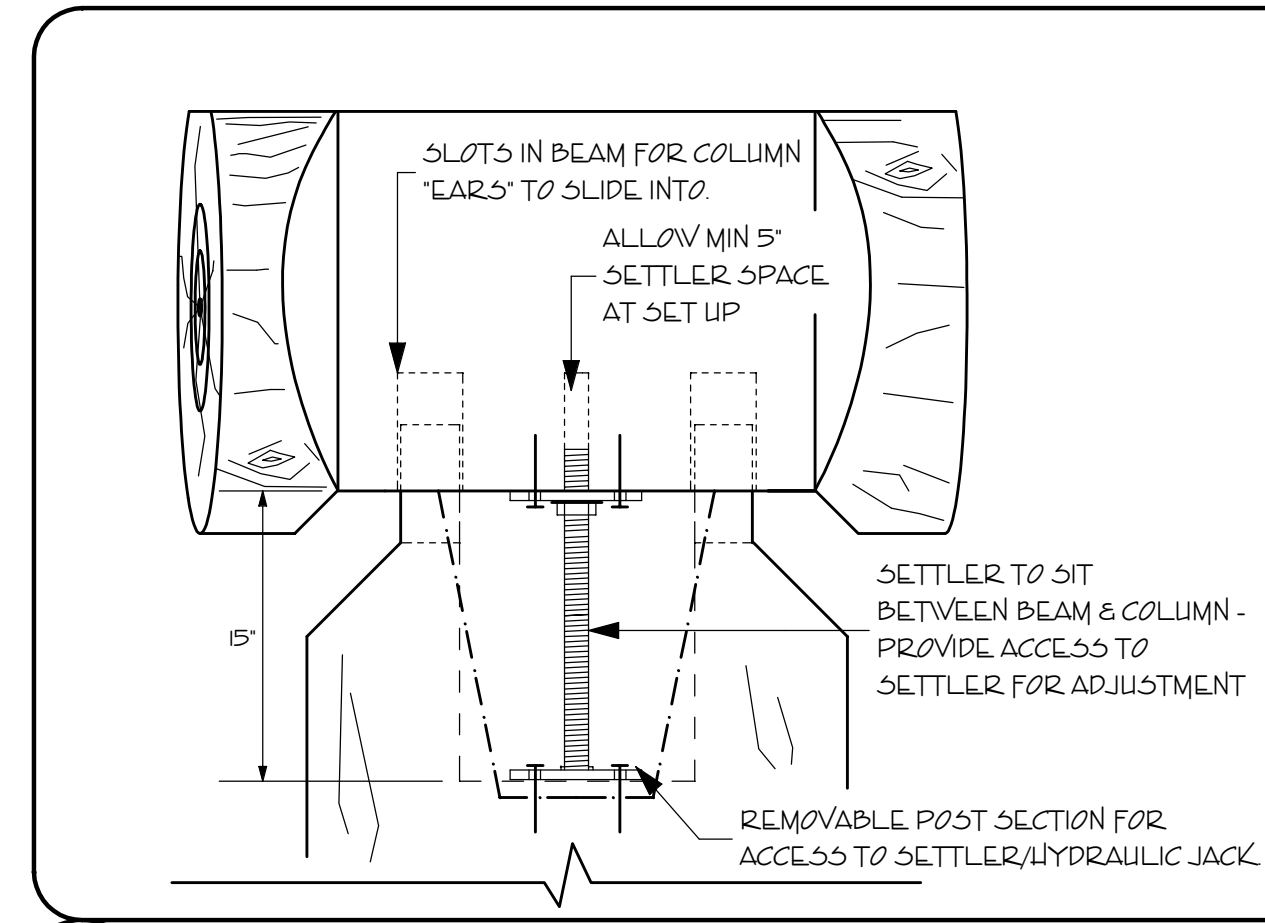
12 WINDOW JAMB DETAIL
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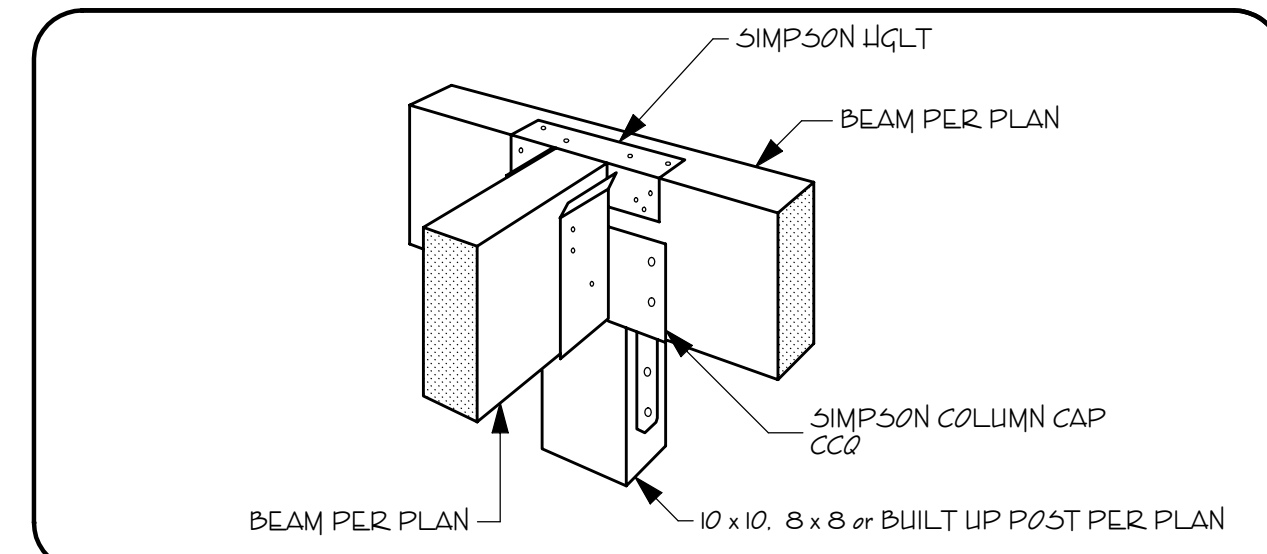
13 WINDOW SILL DETAIL
A-II



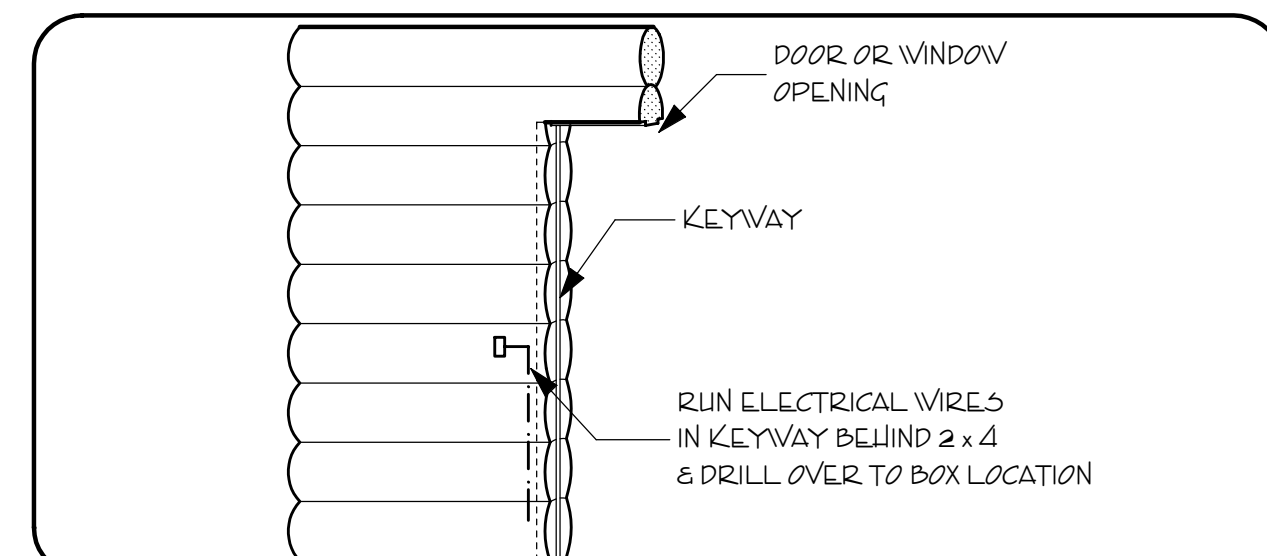
14 LOG POST TO DECK CONNECTION
A-II



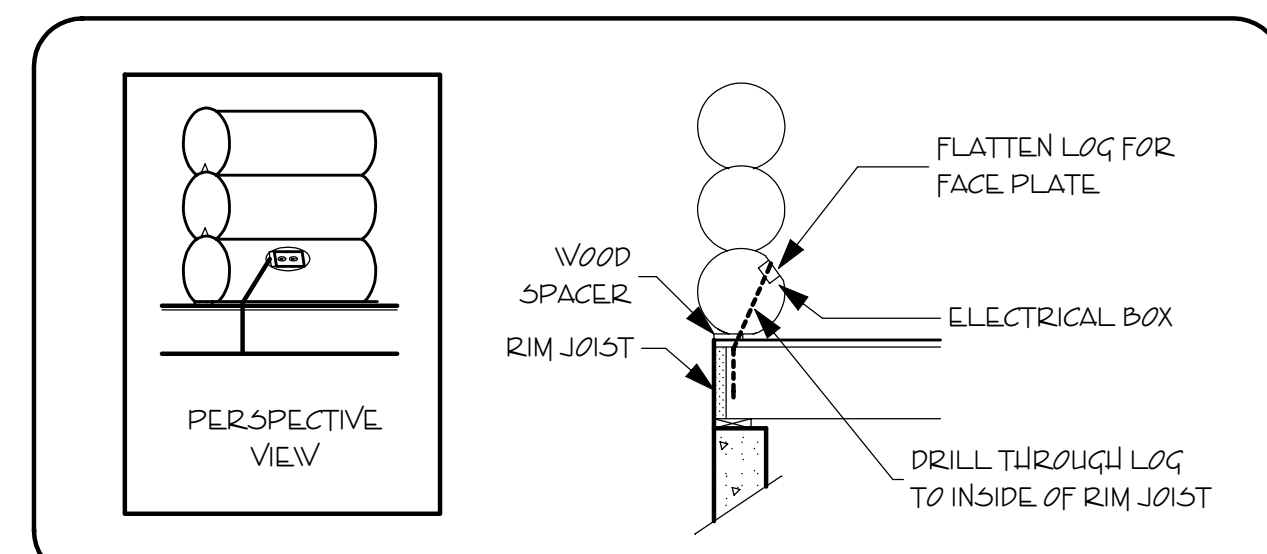
15 STEEL SETTLER AT TOP OF LOG COLUMN
A-II



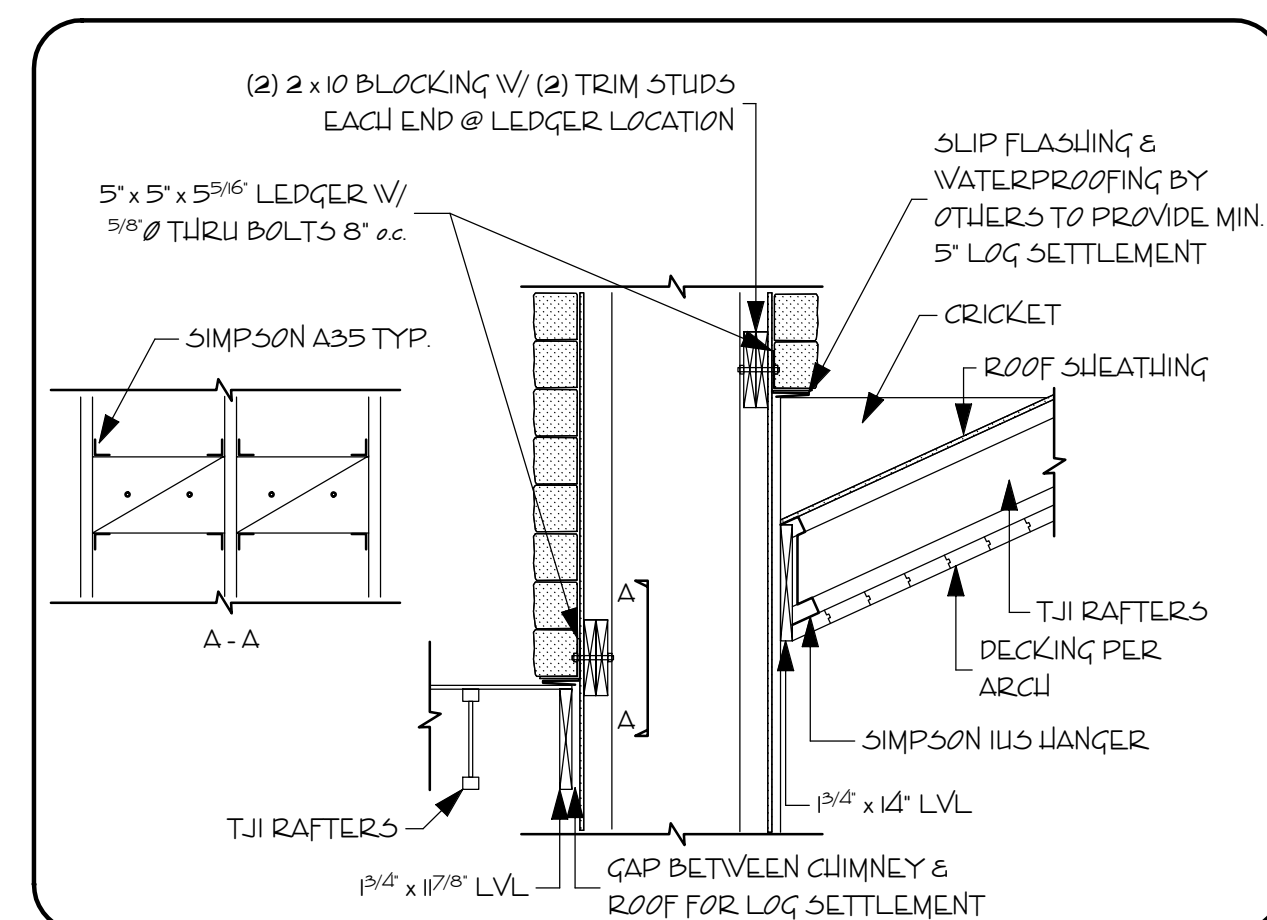
16 GLULAM BEAM CONNECTION DETAIL - SIMPSON CONNECTORS AS REQUIRED
A-II



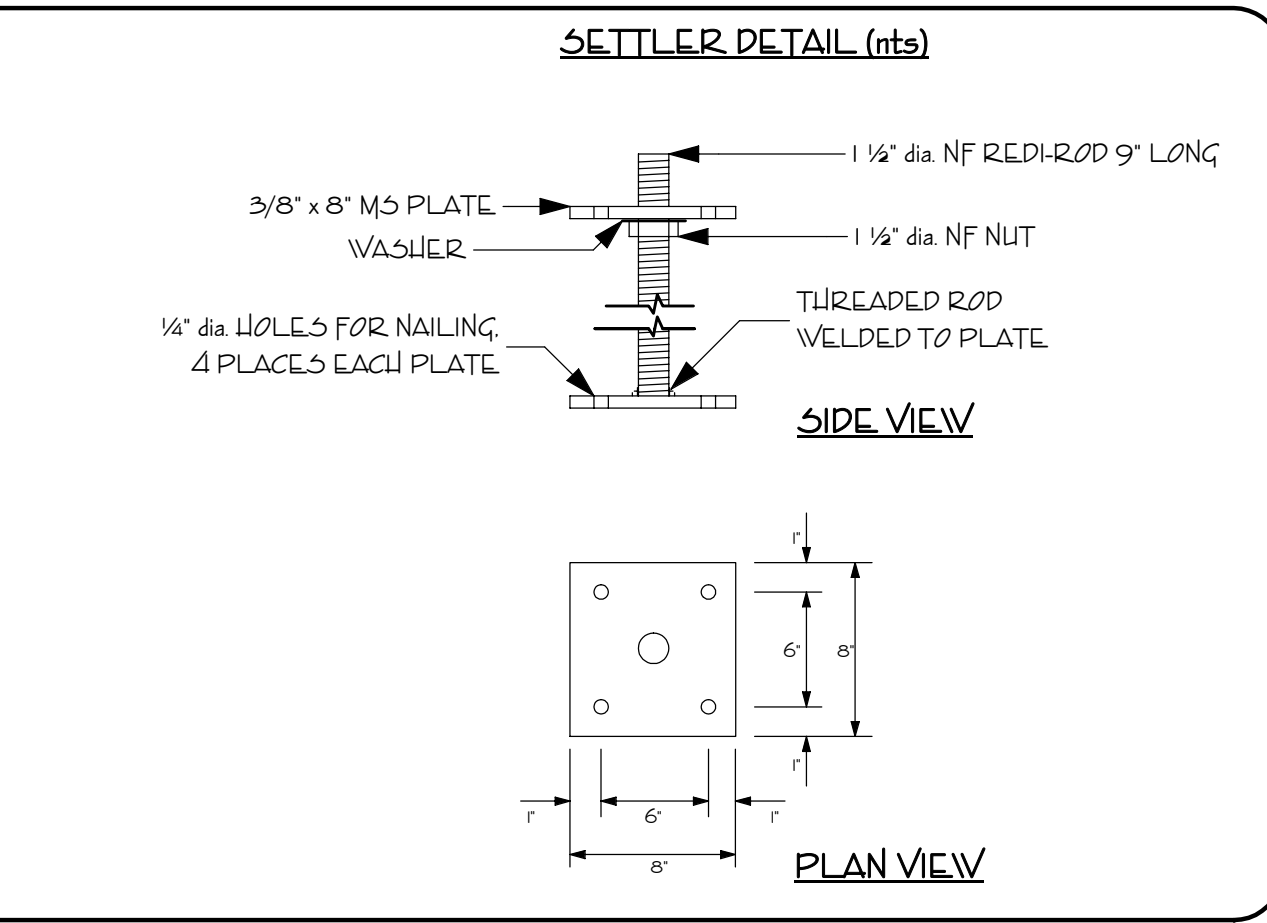
17 ELECTRICAL SWITCH DETAIL
A-II



18 ELECTRICAL RECEPTACLE DETAIL
A-II



19 CHIMNEY W/ STONE LEDGE DETAIL
A-II



SETTLER DETAIL (note)
A-II

NOTES:
I. ALL DETAILS MAY NOT APPLY

PROJECT TITLE:
CALLENDER HANDCRAFTED LOG HOME

MAIN: 1658 sq ft
LOFT: 861 sq ft
TOTAL: 2519 sq ft
BASEMENT: 1008 sq ft

STRUCTURE DESTINATION:
0304 SUMMIT COUNTY RD.
529
BRECKENRIDGE, CO 80424

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DRAWING TITLE:
DETAILS

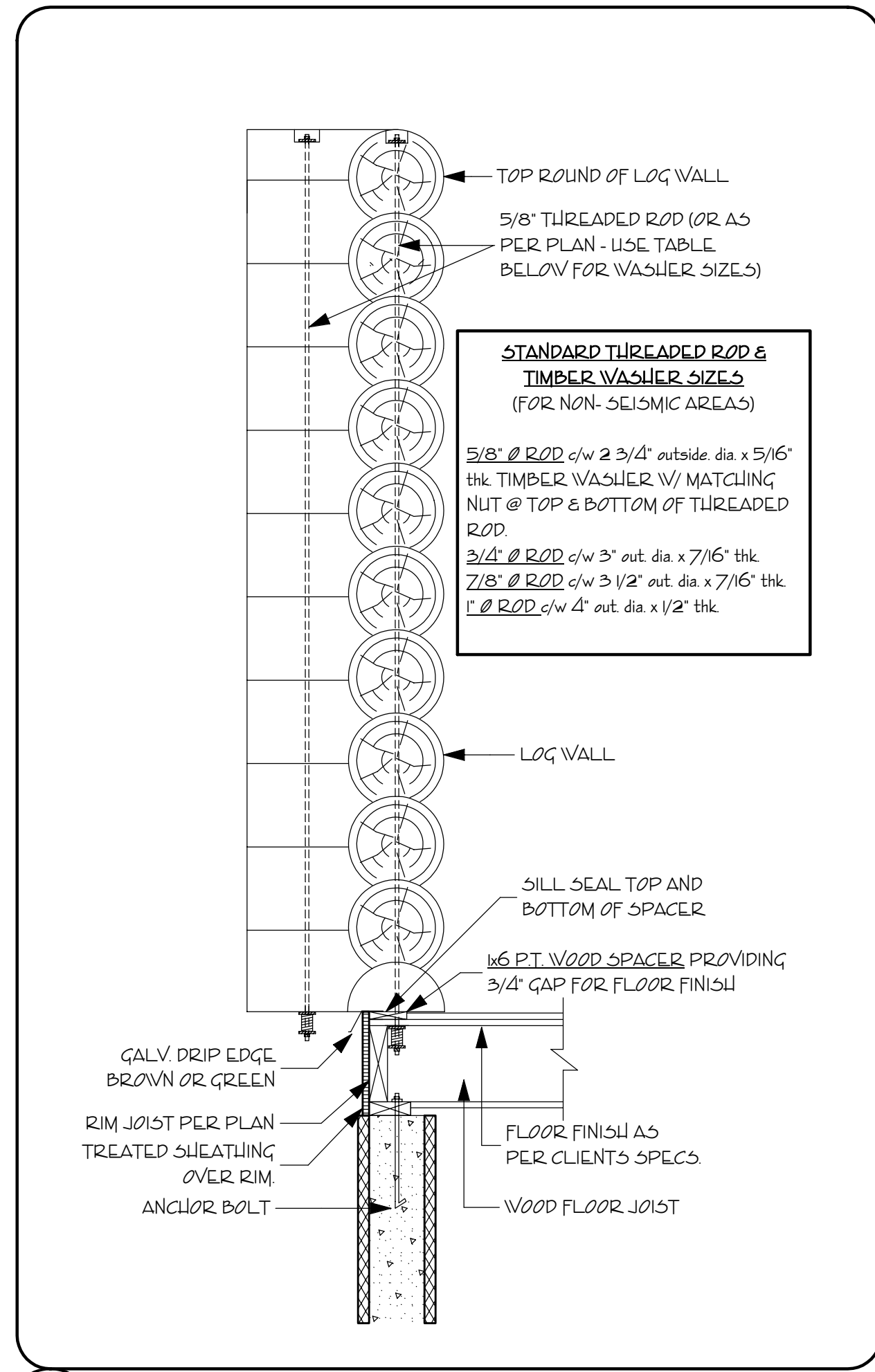
SCALE:
N.T.S.

DATE:
FEBRUARY 1, 2012

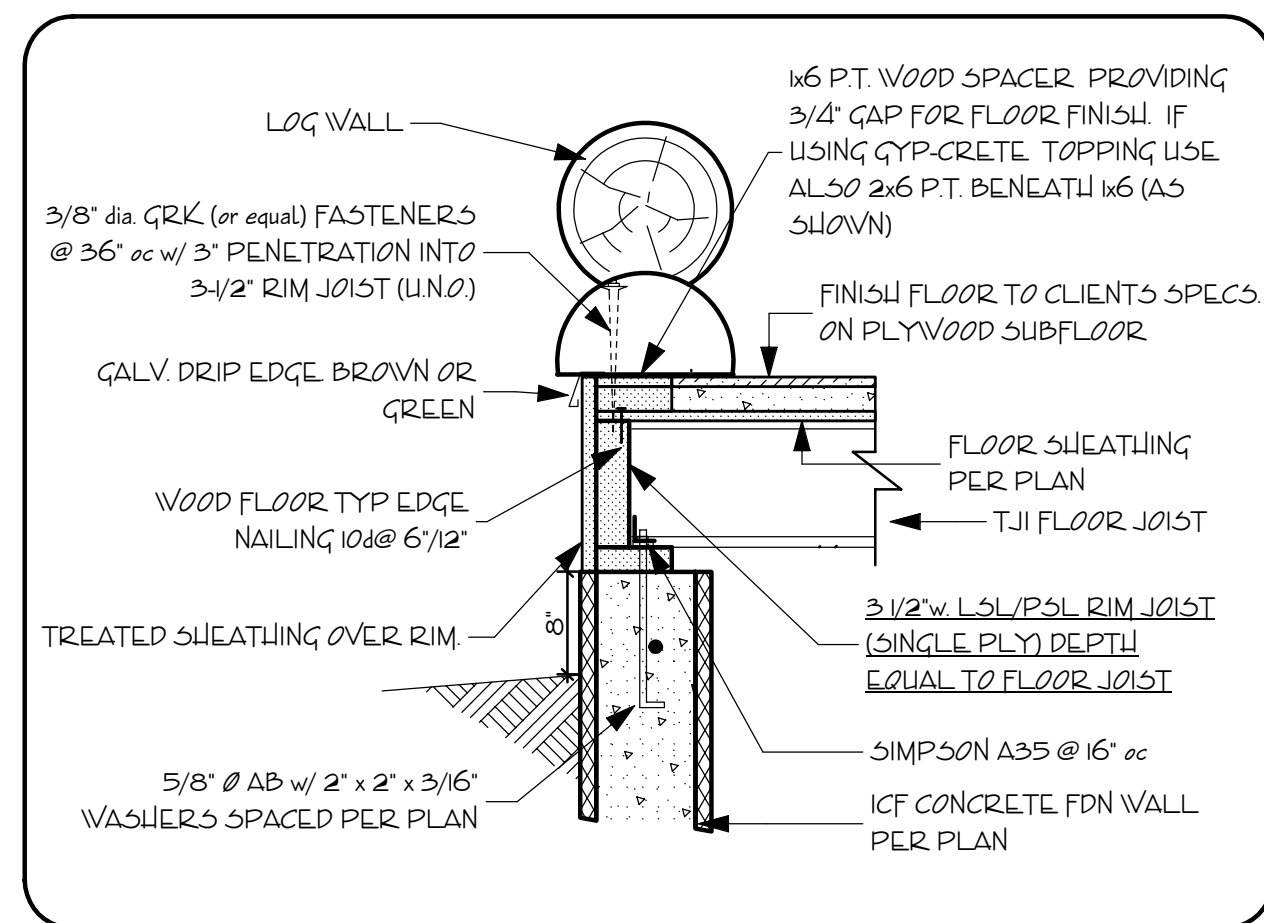
DRAWN BY:
D. FITZEL
N. CRAMER

CHECKED BY:

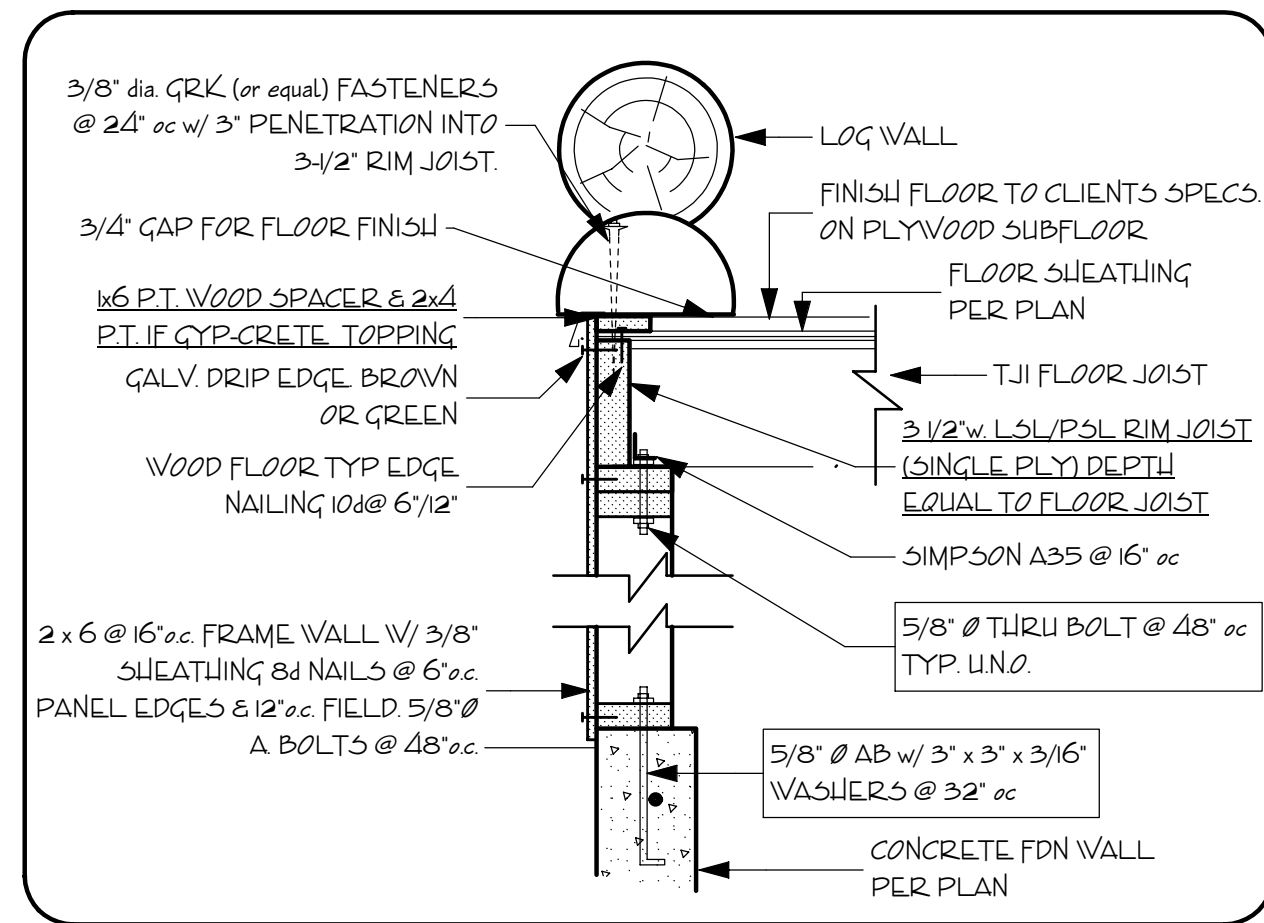
PAGE:
A - II



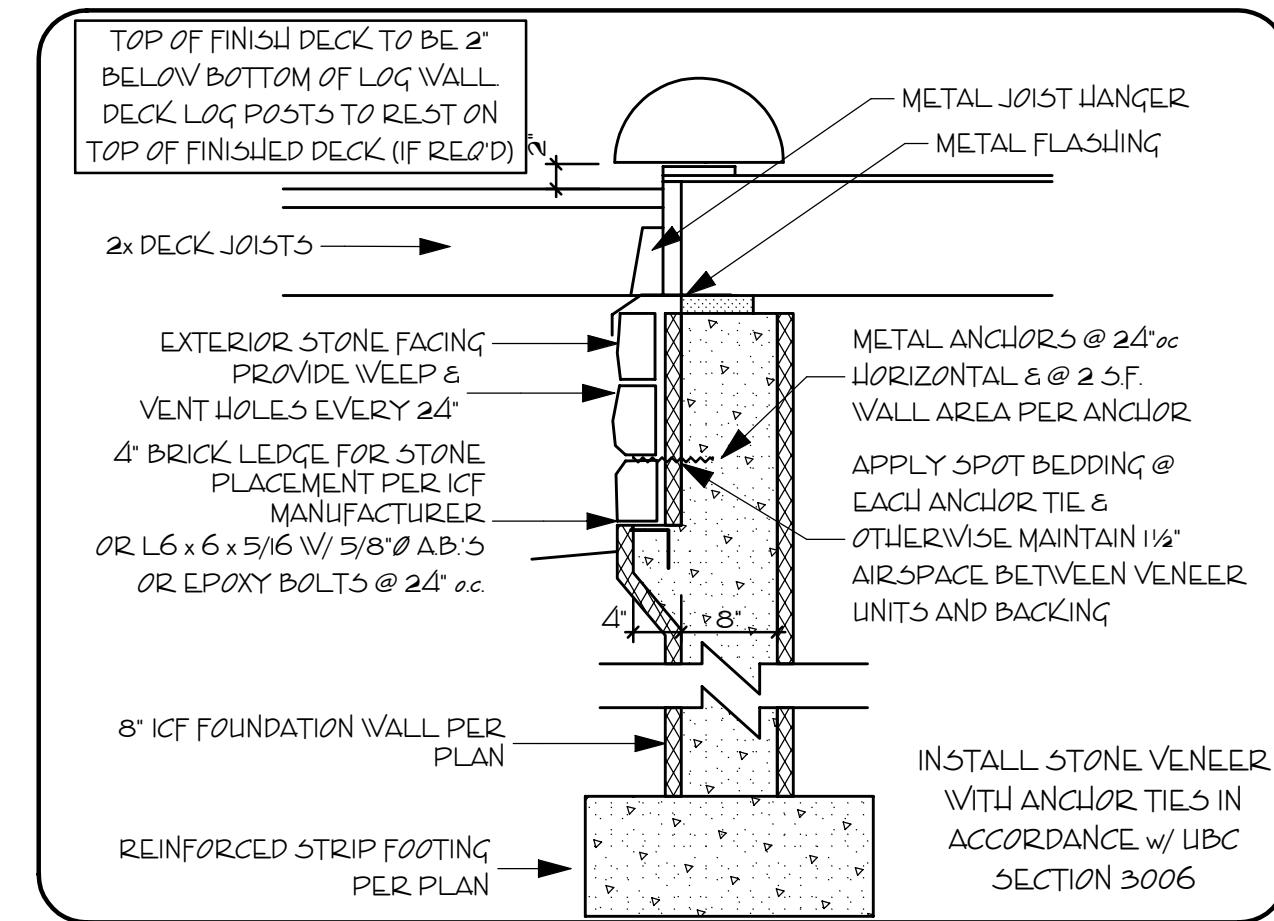
1 LOG WALL THRU BOLT DETAIL CORNER & INTERIOR LOCATIONS - ICF
A-12



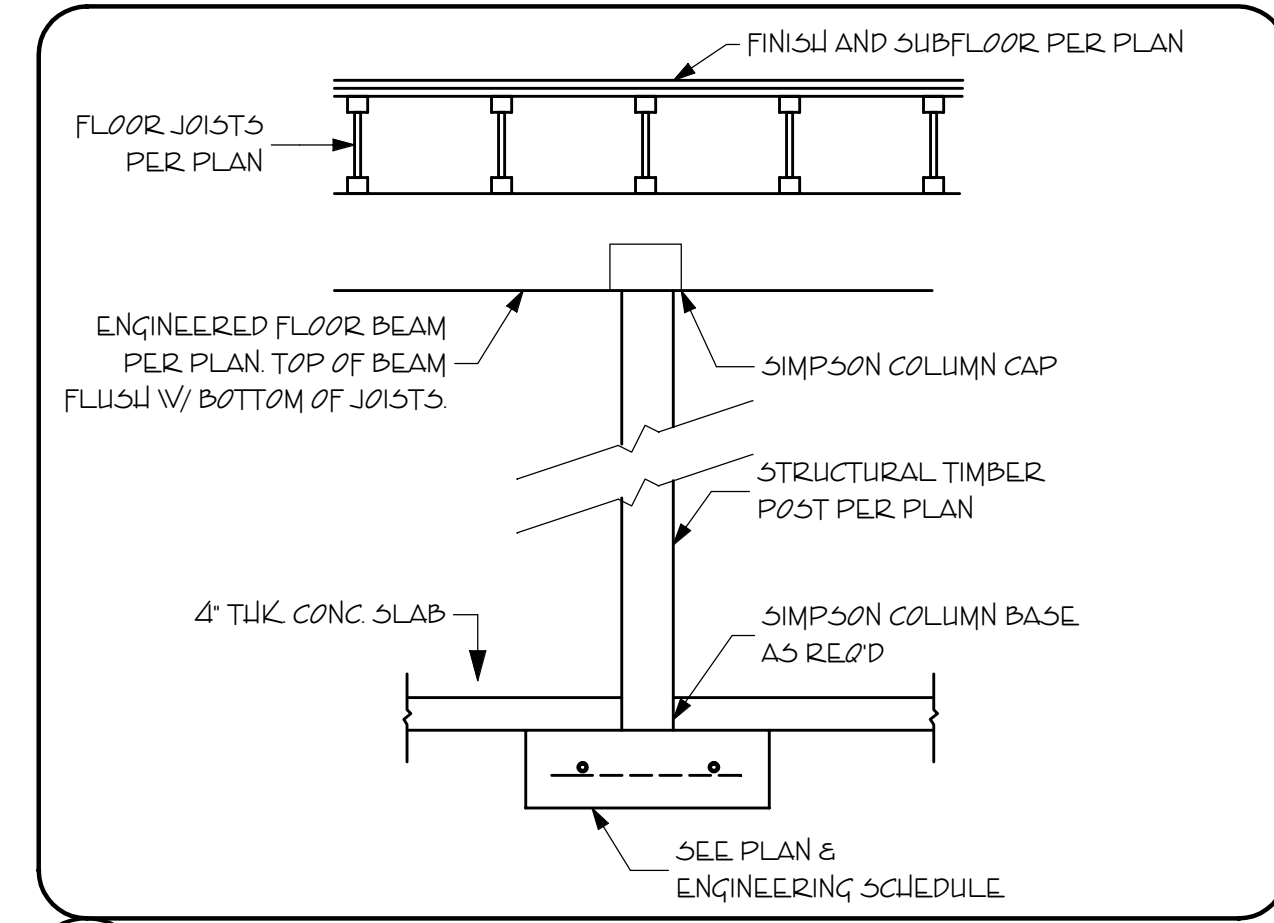
2 3/2" RIM JOIST FIRST ROUND ANCHORING DETAIL OVER CONCRETE WALL - ICF
A-12



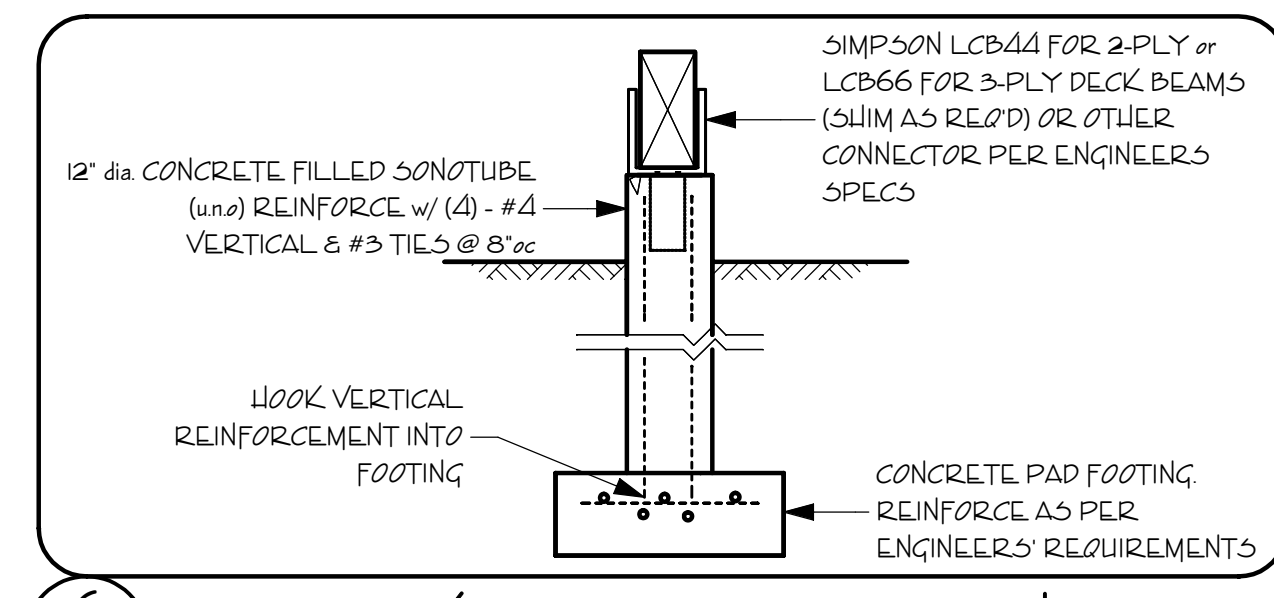
3 3/2" RIM JOIST FIRST ROUND ANCHORING DETAIL OVER FRAME WALL
A-12



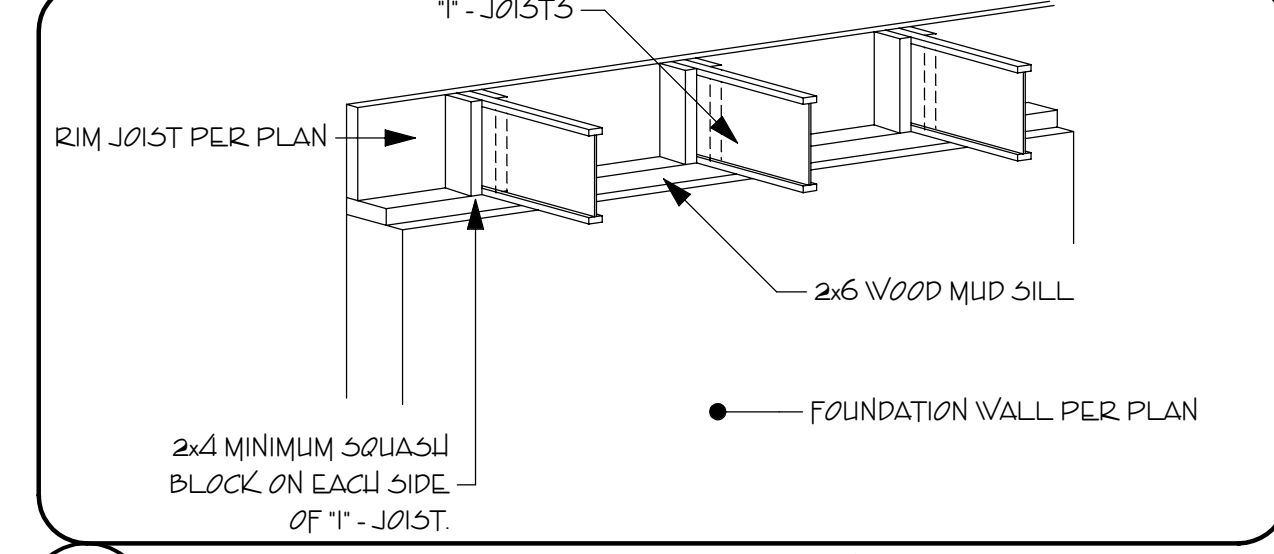
4 ICF EXTERIOR STONE FACADE & DECK HEIGHT DETAIL
A-12



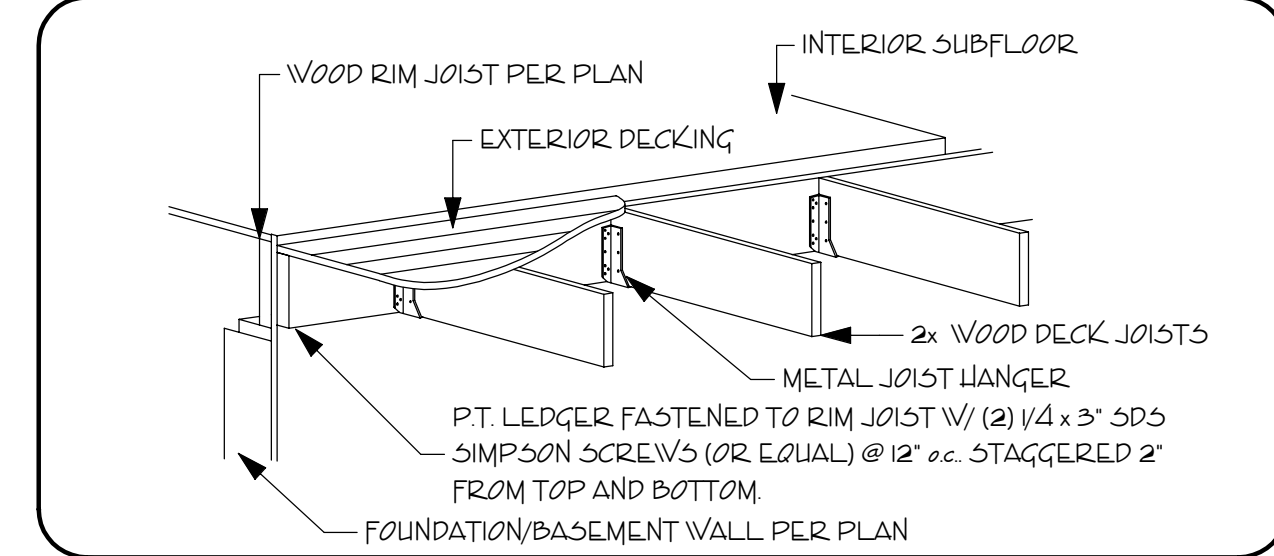
5 WOOD POST AND FTG (BSMT)
A-12



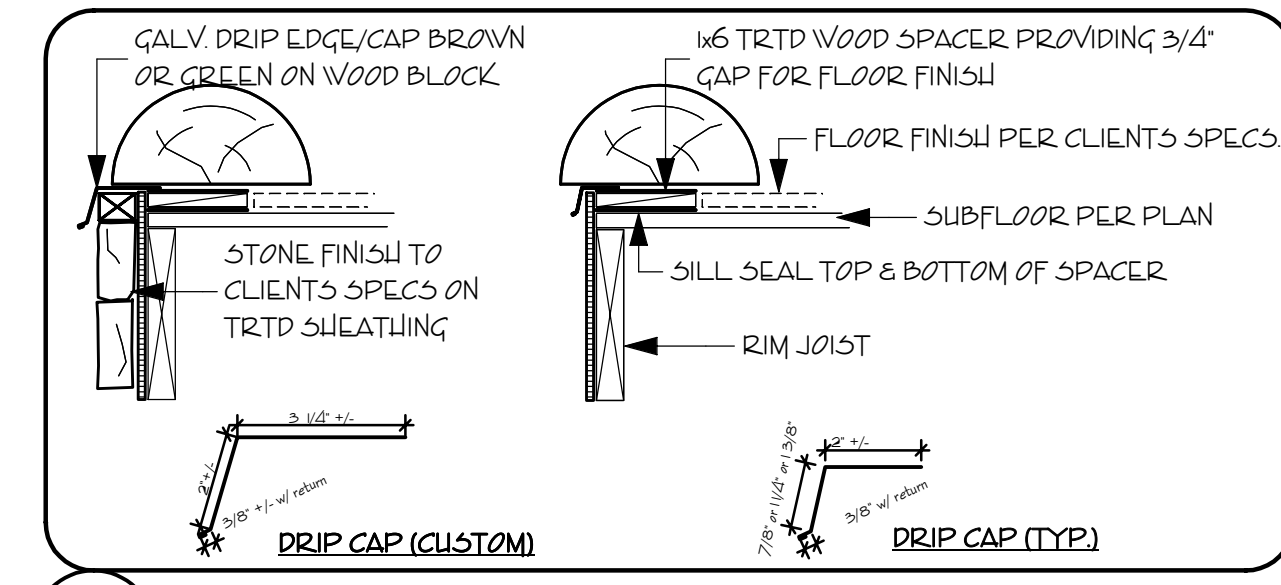
6 FLOOR / DECK BEAM SUPPORT COLUMN DETAIL
A-12



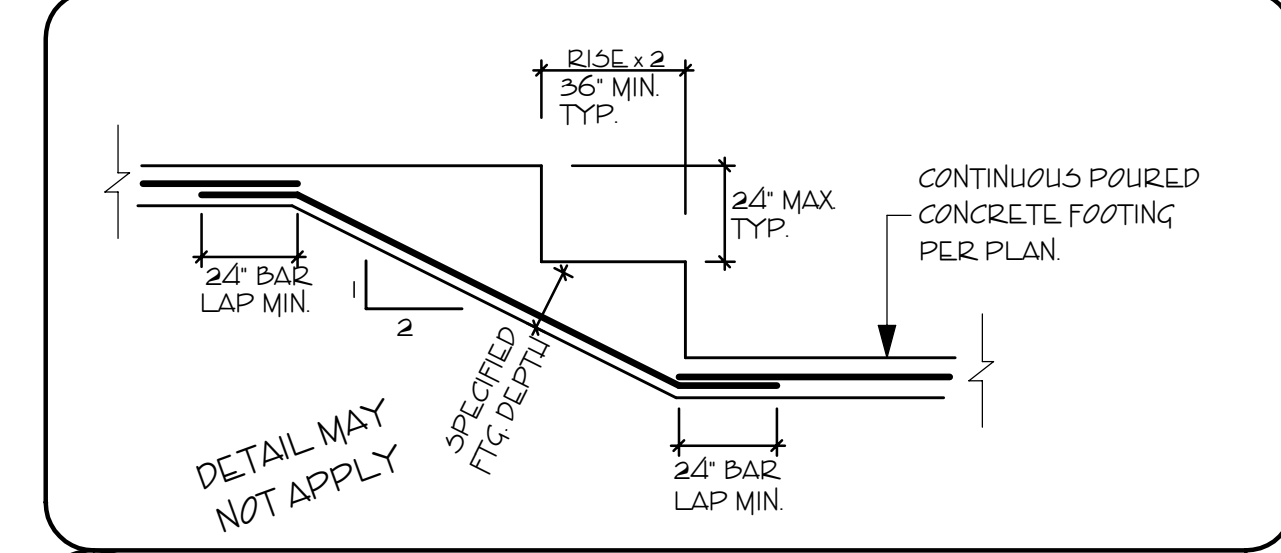
7 1" JOIST SQUASH BLOCK DETAIL
A-12



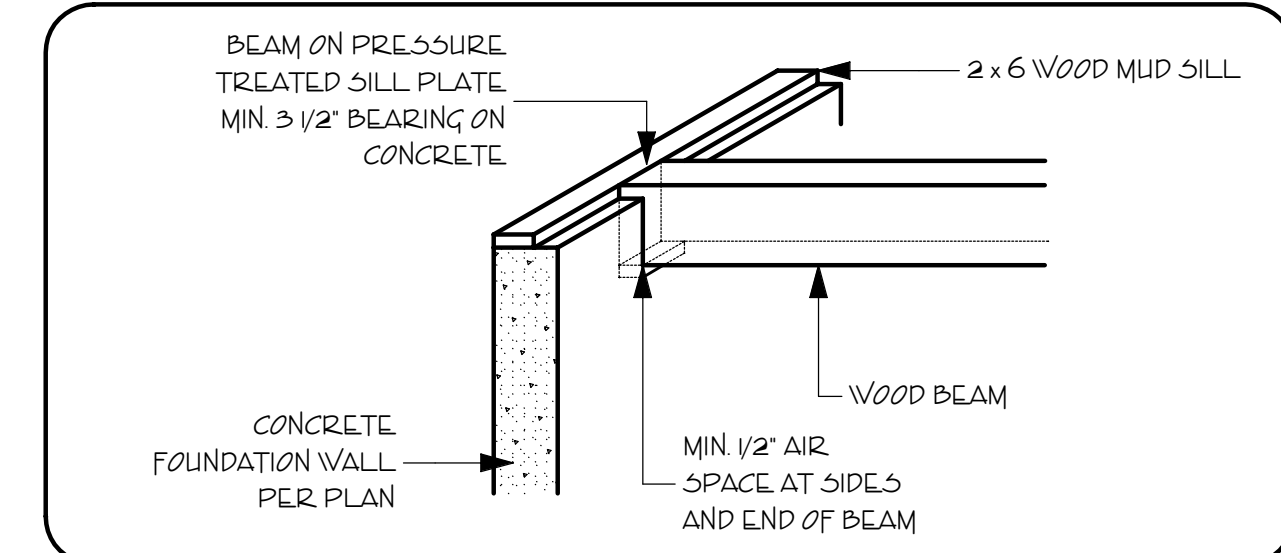
8 DECK JOIST/FOUNDATION WALL DETAIL
A-12



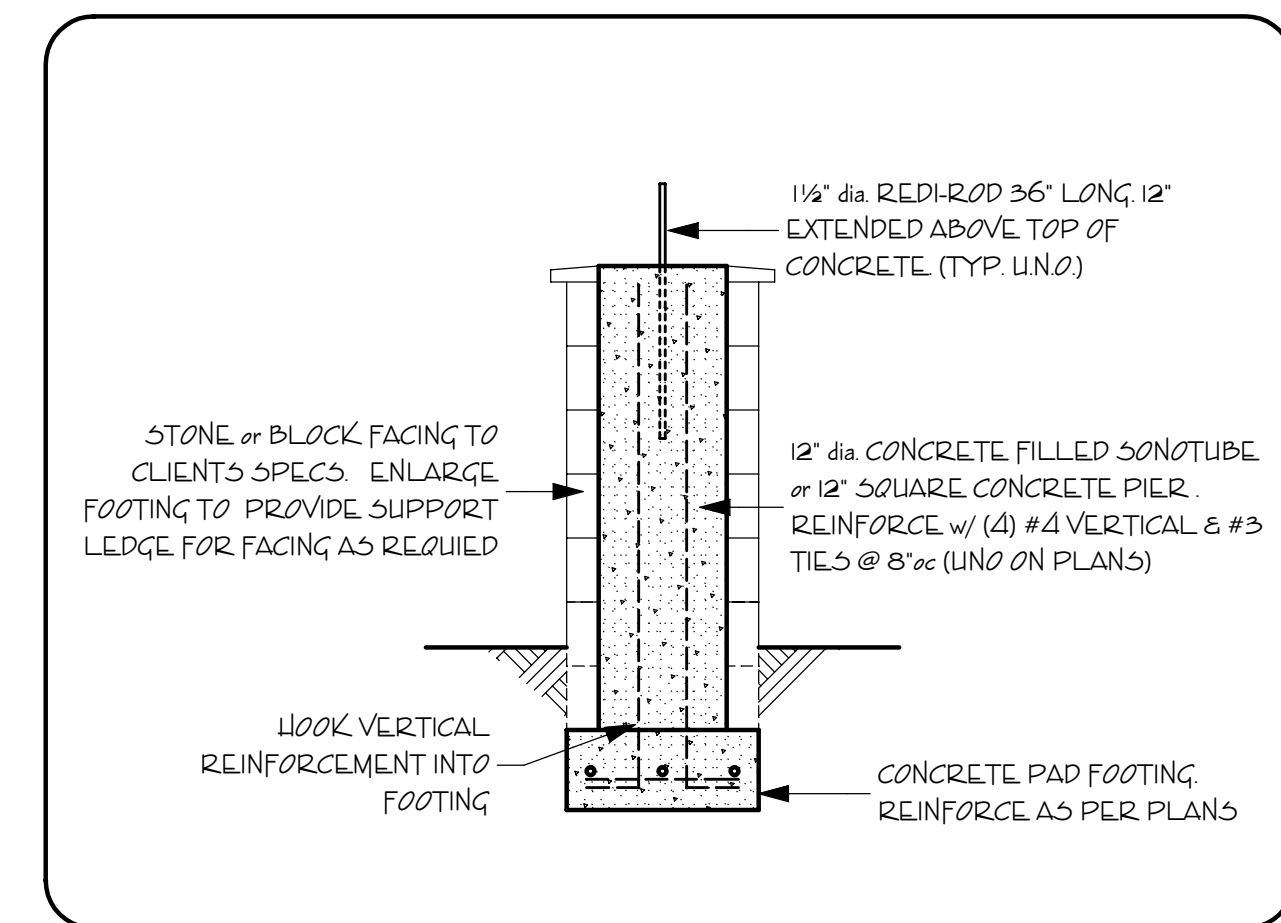
9 DRIP CAP INSTALLATION DETAIL (N.T.S.)
A-12



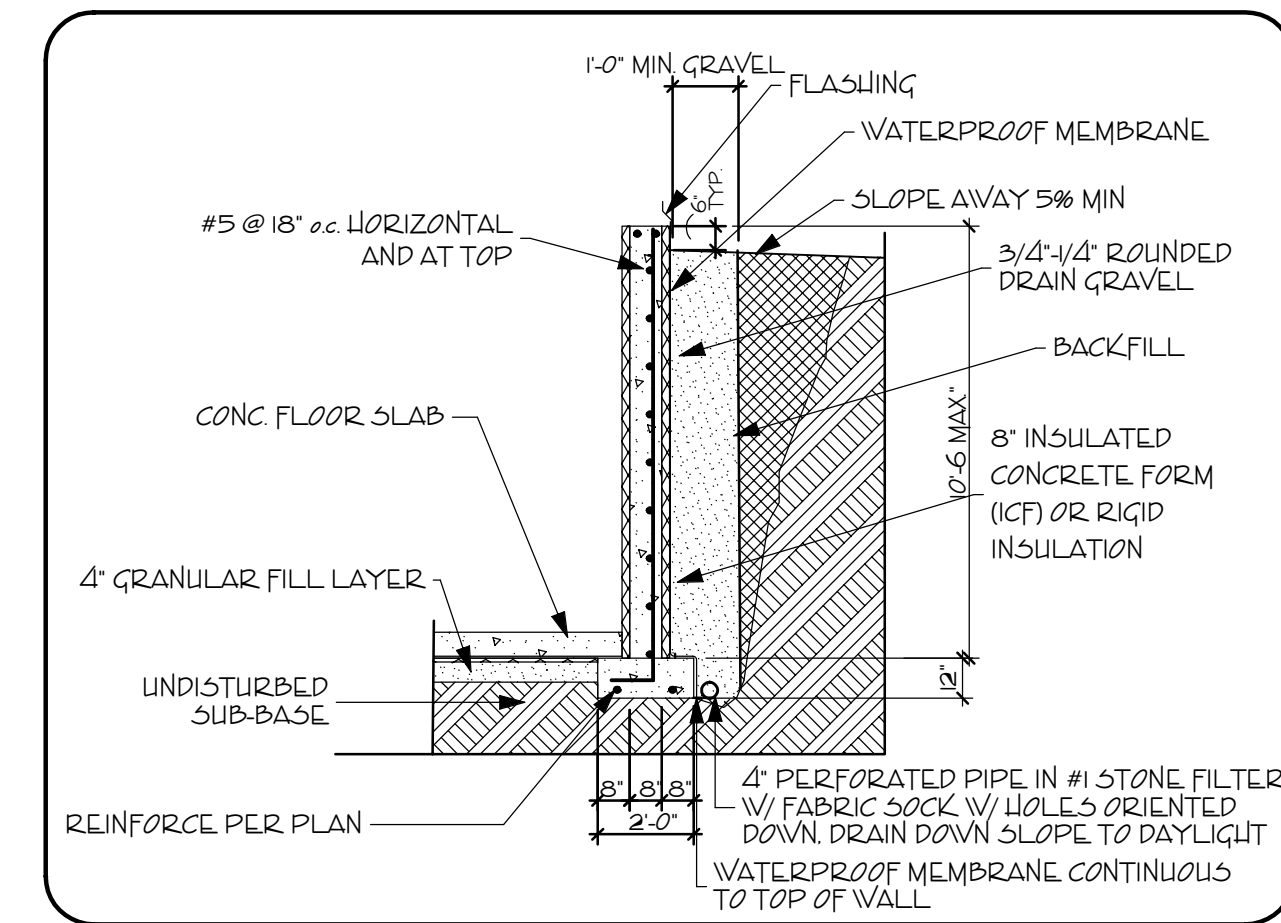
10 STEPPED FOUNDATION FOOTING DETAIL
A-12



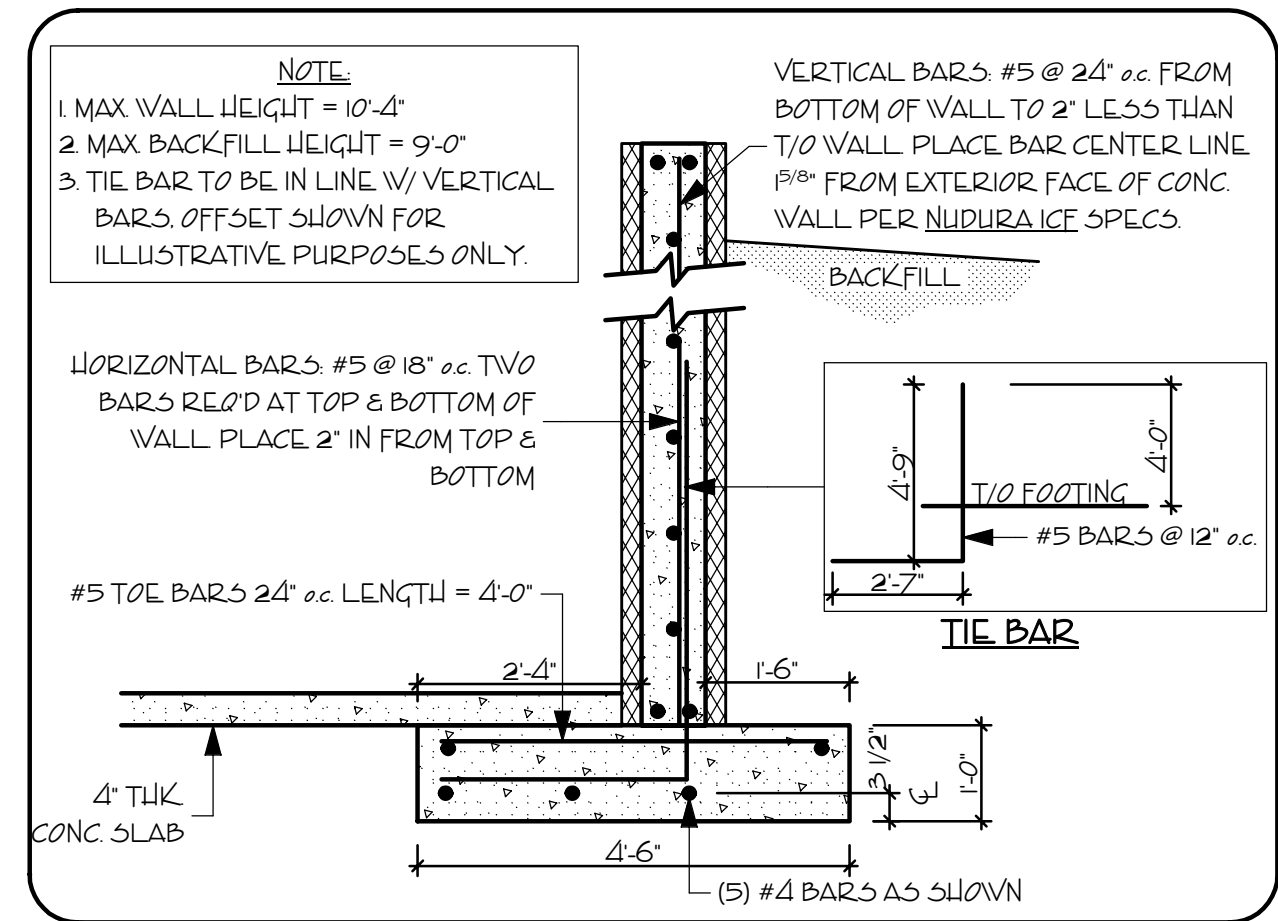
11 BEAM SEAT DETAIL - FOUNDATION
A-12



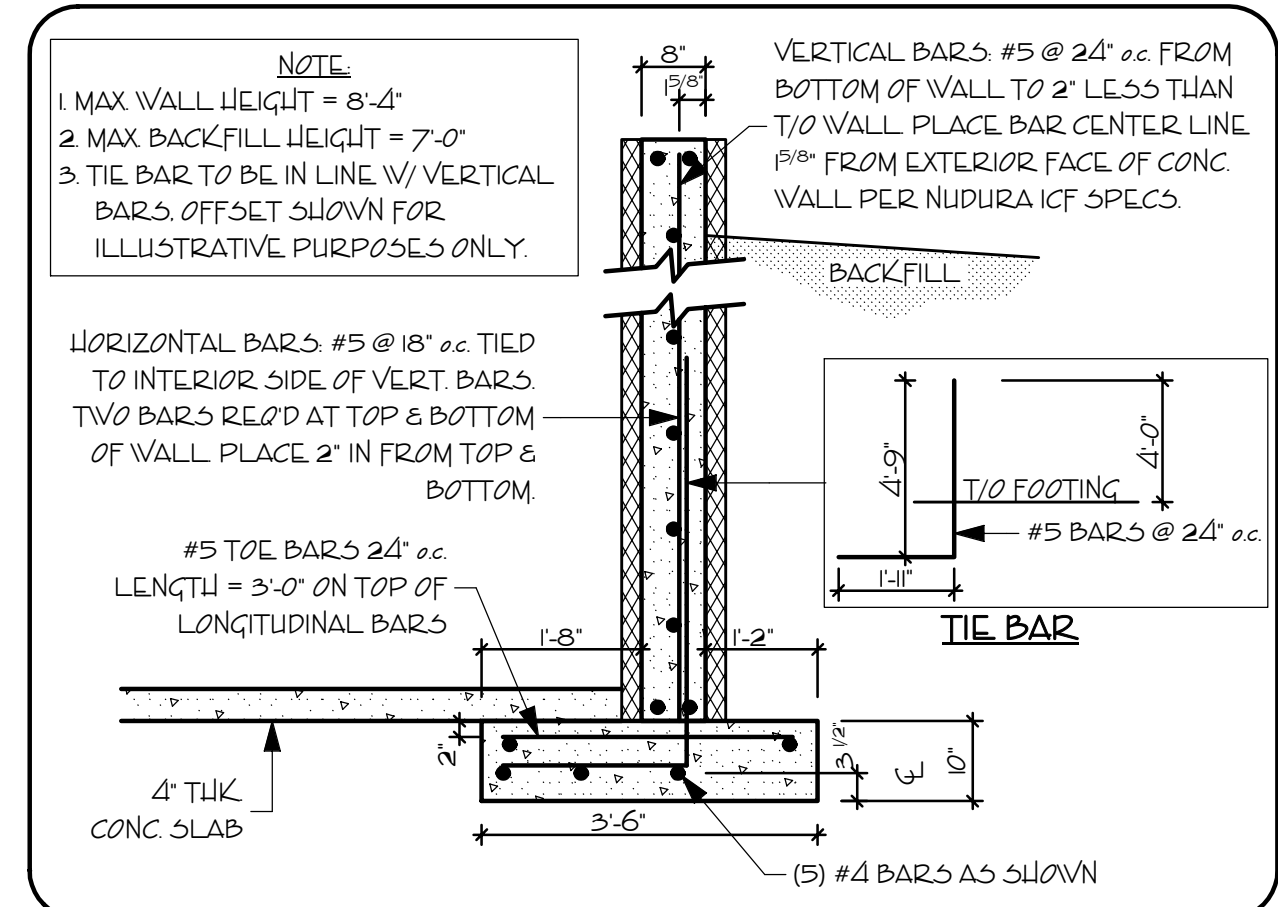
12 EXTERIOR FOOTING / COLUMN
A-12



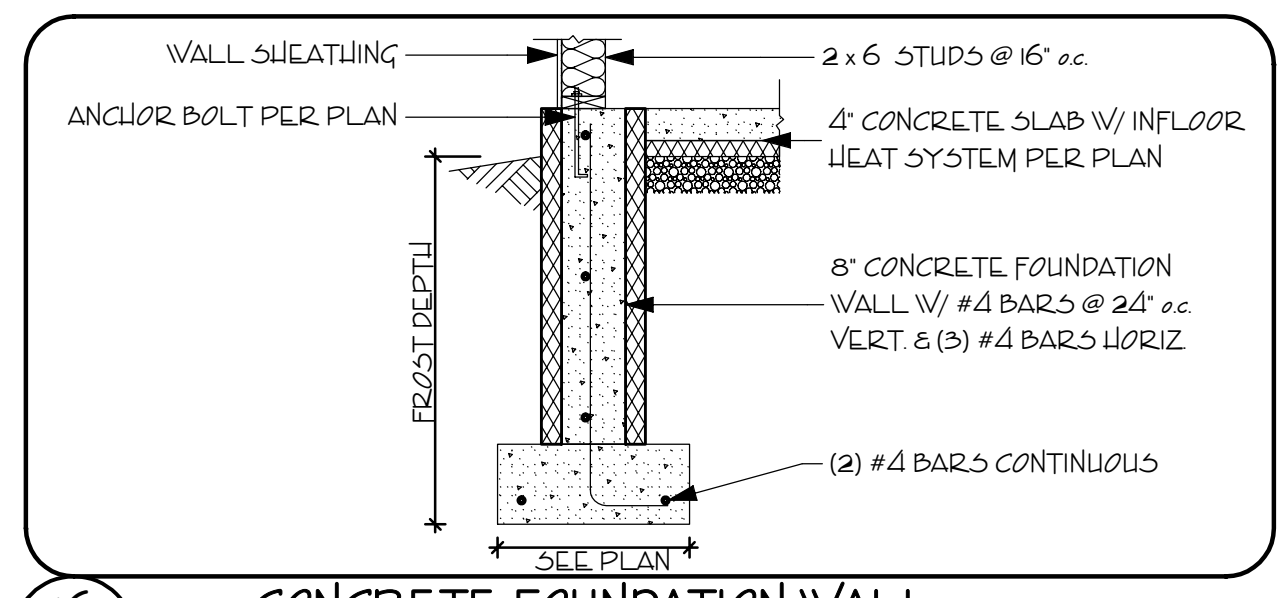
13 TYPICAL BASEMENT / HIGH FOUNDATION CONC. WALL DETAIL
A-12



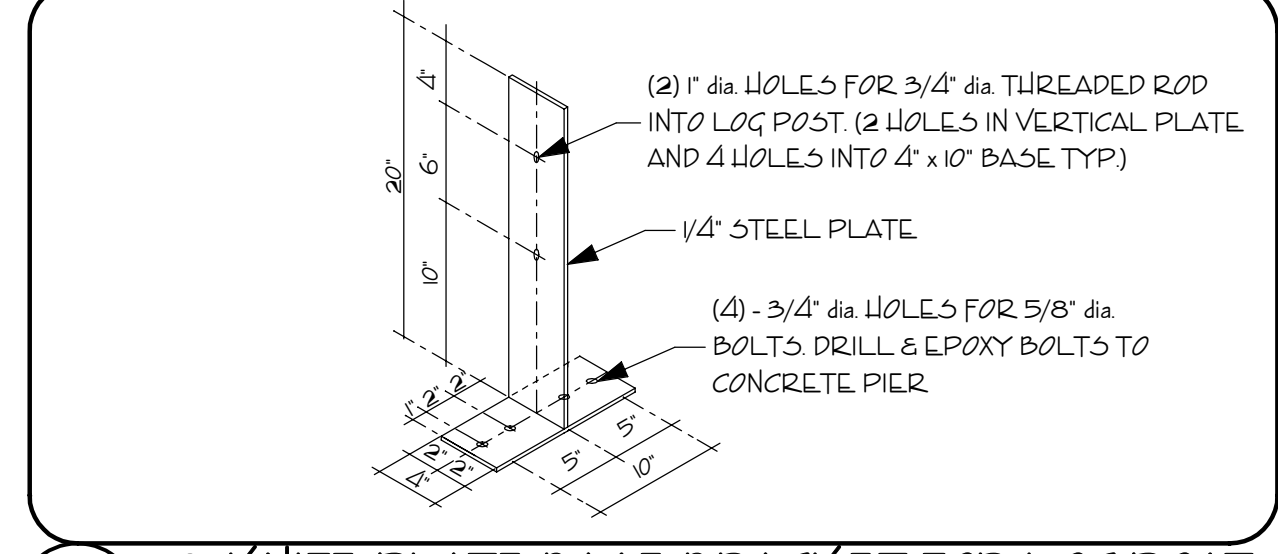
14 TYPICAL RETAINING WALL DETAIL (10'-4\"/>



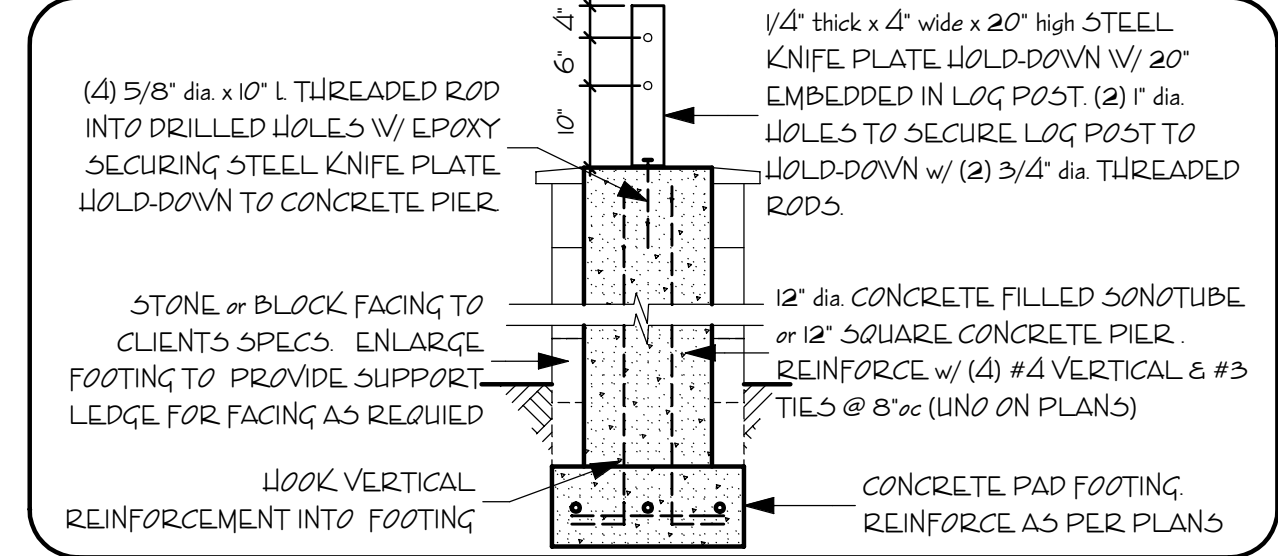
15 TYPICAL RETAINING WALL DETAIL (8'-4\"/>



16 CONCRETE FOUNDATION WALL
A-12



17 20\"/>



18 20\"/>

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CHECKED BY:

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A-12